

**STATE OF NEW YORK  
PUBLIC SERVICE COMMISSION**

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**Petition of Spectrum New York Metro, LLC for an Order  
of Entry to Twenty-eight Multi-Dwelling Unit Buildings  
located in the City of New York**

---

**Matter 21-\_\_\_\_\_**

**PETITION FOR ORDER OF ENTRY**

Spectrum New York Metro, LLC, subsidiary of Charter Communications, Inc., (collectively, “Charter”) respectfully submits this Petition for an Order of Entry, pursuant to 16 NYCRR § 898.4, allowing Charter to install cable television facilities at the multi-dwelling unit buildings located at each of the addresses (each an “MDU Property” and collectively the “MDU Properties”) listed in Exhibit 1, attached hereto and incorporated to this Petition. In support of this Petition, Charter states as follows:

**1. Installation & Landlord**

Charter seeks to install fiber-optic cable television facilities (“Facilities”) to provide video, internet, and voice services at the MDU Properties. The MDU Property owner is listed in Column B to each address in Exhibit 1 (each a “Landlord” and collectively the “Landlords”).

**2. Proof of Service of Notice of Intention to Install Cable Television Facilities and Service**

After several unsuccessful attempts to secure permission to install Facilities, Charter sent each Landlord a Notice of Intention to Install Cable Television Facilities on the date listed in Column C in Exhibit 1, setting forth the applicable laws and rules governing Charter’s right to access the applicable MDU Property, including 16 NYCRR § 898. Charter also sent each Landlord, via certified mail, a Second Notice of Intention to Install Cable Television Facilities on the date listed in column D in Exhibit 1. Each Notice is attached to Exhibit 2, attached

hereto and incorporated herein, in support of the access requested in this Petition.

**3. Scope of work & Costs**

Charter has inspected the MDU Property and outlined its scope of work to install its equipment as detailed in the Scope of Work, described in column E in Exhibit 1 for the Properties that allowed access to Charter's employees to conduct such surveys. Charter agrees, and has conveyed to each Landlord, that Charter will bear the entire cost of the installation and Charter's installation will be performed to minimize the aesthetic impact of the installation of Facilities. Detailed scope of work for each MDU is attached hereto and incorporated herein, in support of the access requested in this Petition.

**4. Name of the Individual Responsible for Installation**

The person listed on column F in Exhibit 1 is the person primarily responsible for the proposed installations.

**5. Indemnification**

Charter warrants that it will indemnify the Landlord for any damage that Charter may cause in connection with the installation of the Facilities at the MDU Property, and that Charter has insurance covering such installation, proof of which Charter can provide upon request.

**6. Installation Work Will Be Conducted without Prejudice to the Owner's Right to Receive Just Compensation**

Charter will conduct the proposed installation work at the MDU Property without prejudice to the Landlord's right to just compensation under 16 NYCRR § 898.2.

**7. Summary of Charter's Efforts to Gain Entry to the Buildings**

Charter has continuously and unsuccessfully attempted to work with each Landlord since the date listed in column F in Exhibit 1. Charter's sales team has attempted in good faith to contact and negotiate an access agreement with each Landlord by both telephone and email as further

detailed for each MDU Property in column G in Exhibit 1. Despite these efforts, Charter has been unable to obtain access to the MDU Properties, for among other reasons, a Landlord's refusal to negotiate terms and a Landlords unresponsiveness or excessive delays.

Because the Charter has been unable to gain access to the applicable MDU Properties, Charter seeks an order of entry through this Petition.

**8. Opportunity for the Landlord to Answer the Petition**

The Landlord of each MDU Property has twenty (20) days from receipt of this Petition to file an answer. The answer must be responsive to this Petition and may set forth any additional matters not contained herein. Participation by the landlord is not mandatory, however, and if no appearance by the landlord is made in the proceeding or no answer filed within the time permitted, the Commission may grant to Charter an order of entry, which order shall constitute a ruling that Charter has complied with the requirements of section 228 of the Public Service Law and the regulations in 16 NYCRR 898.4.

**WHEREFORE**, Charter respectfully requests that the Commission grant Charter the relief requested herein and issue an Order pursuant to 16 NYCRR § 898.4 permitting Charter to install its Facilities, together with such other relief as the Commission may deem just and proper.

Respectfully submitted,

/s/ Ekin Senlet

Ekin Senlet  
Angela J. Sicker  
*Counsel for Spectrum New York Metro, LLC,  
subsidiary of Charter Communications, Inc*

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Matter 21-\_\_\_\_\_

VERIFICATION OF MICHAEL CHOWANIEC

Michael Chowaniec certifies and verifies under penalty of perjury as follows:

1. I am an authorized officer of the petitioner, Spectrum New York Metro, LLC, a subsidiary of Charter Communications, Inc., (the "Petitioner").
2. I am not a party to this action.
3. To the best of my knowledge, based on information provided by employees of the Petitioner and its affiliates, the foregoing Petition is true.

Dated: March 12, 2021

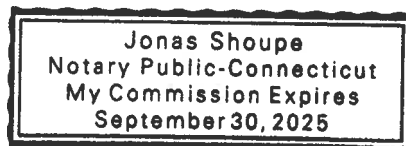


MICHAEL CHOWANIEC

Sworn to before me this

12 day of March, 2021.

  
Notary Public





**STATE OF NEW YORK  
PUBLIC SERVICE COMMISSION**

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**Petition of Spectrum New York Metro, LLC for an Order  
of Entry to Twenty-eight Multi-Dwelling Unit Buildings in  
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---

**Matter 21-\_\_\_\_\_**

**DECLARATION OF ANGELA J. SICKER, ESQ.**

I have taken steps to ensure that a copy of the Petition of Spectrum New York Metro, LLC, a subsidiary of Charter Communications, Inc., (“Charter”) for an Order of Entry for the Twenty-eight Multi-Dwelling Unit Buildings in the City of New York was sent on March 15, 2021 by First-Class U.S. Mail to the landlords identified in Exhibit 1 of this petition.

I declare under penalty of perjury that, to the best of my knowledge, the foregoing is true and correct.

Dated: March 15, 2021



\_\_\_\_\_  
**ANGELA J. SICKER, ESQ.**

# Exhibit 1

## MDU PROPERTIES

**Exhibit 1**

<u>A</u>				<u>B</u>		<u>C</u>	<u>D</u>	<u>E</u>	<u>F</u>	<u>G</u>
MDU Property Address				Landlord		Date First Notice Sent to Landlord	Date Second Notice Sent to Landlord	Scope of Work	Individual Responsible for Installation	Date of First Contact with Landlord
102 Charlton	New York	NY	10014	Dina Bui	1999 Marcus Ave., Ste #310, Lake Success, NY 11042	8/5/2020	11/3/2020	See Schedule A	Offer Adinyayev	1/16/2020
606 West 30th Street	New York	NY	10001	Diana Bui	1999 Marcus Ave., Ste #310, Lake Success, NY 11042	8/5/2020	11/3/2020	See Schedule A	Offer Adinyayev	11/19/2019
43-46 51st Street	Flushing	NY	11377	Linzong Zhuo	201 46 <sup>th</sup> Street, Brooklyn, NY 11220	8/5/2020	11/2/2020	See Schedule A	Offer Adinyayev	4/29/2020
70-09 45th Avenue	Queens	NY	11377	70-05 Realty Inc.	135-11 Northern Blvd, Queens, NY 11354	8/5/2020	11/3/2020	See Schedule A	Debra Netska	4/20/2020
144 West Street	Brooklyn	NY	11222	FHRB LLC	511 Canal Street, Ste 500, New York, NY 10013	8/5/2020	11/3/2020	See Schedule A	Offer Adinyayev	3/5/2020
301 E 62nd Street	New York	NY	10065	30162 Owners Corp	250 Park Ave S # 4, New York, NY 10003	8/5/2020	11/3/2020	See Schedule A	Offer Adinyayev	3/11/2020
81-11 134th Street	Jamaica	NY	11435	Briarwood MP LLC	388 Old Courthouse Road, New Hyde Park, NY 11040	8/5/2020	11/3/2020	See Schedule A	Offer Adinyayev	5/5/2020
378 West End Avenue	New York	NY	10024	378 WEA Owner LLC	800 3rd Avenue, 22nd Fl, New York, NY 10022	8/5/2020	11/3/2020	See Schedule A	Offer Adinyayev	1/16/2020
435 Central Park West	New York	NY	10025	Park Front Apartments LLC	315 Central Park W, Ste 1200, New York, NY 10025	8/7/2020	11/3/2020	See Schedule A	Offer Adinyayev	8/6/2020
302 E 96th Street	New York	NY	10128	WWML96 LLC	894 Sixth Ave, New York NY 10001	9/22/2020	11/3/2020	See Schedule A	Offer Adinyayev	8/15/2019
29-19 Newtown Avenue	Astoria	NY	11102	Almo Group Corp	23-39 BQE West, Astoria NY 11103	9/22/2020	11/3/2020	See Schedule A	Offer Adinyayev	5/5/2020
171-04 Baisley Boulevard	Jamaica	NY	11434	Palm Triton LLC	100 Schoolhouse Road, Levittown, NY 11756	12/10/2019	9/22/2020	See Schedule A	Offer Adinyayev	10/2/2019
126-30 Locust Manor	Jamaica	NY	11434	The Eclipse at Locust Manor, LLC	100 Schoolhouse Road, Levittown, NY 11756	9/22/2020	11/3/2020	See Schedule A	Debra Netska	10/2/2019
127-10 Locust Manor	Jamaica	NY	11434	There Meridan at Locust Manor, LLC	100 Schoolhouse Road, Levittown, NY 11756	9/22/2020	11/3/2020	See Schedule A	Debra Netska	10/2/2019
126-02 Locust Manor	Jamaica	NY	11434	Locust Manor Family Residence II, Ltd	100 Schoolhouse Road, Levittown, NY 11756	9/22/2020	11/3/2020	See Schedule A	Offer Adinyayev	10/2/2019
241 Atlantic Avenue	Brooklyn	NY	11201	ACHS Management Corp	1412 Broadway, New York, NY 10018	9/22/2020	11/3/2020	See Schedule A	Debra Netska	5/28/2020
210 Wallabout Street	Brooklyn	NY	11236	Mendy Deutsch	199 Lee Ave # 286, Brooklyn NY 11211	9/23/2020	11/3/2020	See Schedule A	Debra Netska	5/6/2020
242 W 53rd Street	New York	NY	10019	Align Management	183 Madison Ave., Ste 1602, New York NY 10016	10/14/2019	11/5/2019	See Schedule A	Debra Netska	1/29/2019
125 Court Street	Brooklyn	NY	11201	125 Court Street LLC	45 Main St 12th Flr, Brooklyn NY 11201	9/23/2020	11/3/2020	See Schedule A	Offer Adinyayev	2016
286 Ashland Place	Brooklyn	NY	11217	Amish Patel	45 Main St 12th Flr, Brooklyn NY 11201	9/23/2020	11/3/2020	See Schedule A	Offer Adinyayev	6/20/2016
325 Kent Avenue	Brooklyn	NY	11249	325 Kent LLC	45 Main St 12th Flr, Brooklyn NY 11201	9/23/2020	11/3/2020	See Schedule A	Offer Adinyayev	10/28/2019
266 Kent Avenue	Brooklyn	NY	11249	260 Kent LLC	45 Main St 12th Flr, Brooklyn NY 11201	9/23/2020	11/3/2020	See Schedule A	Offer Adinyayev	11/19/2017
1059 3rd Avenue	New York	NY	10065	63rd & 3rd NYC LLC	101 South Eola Dr., Orlando, FL 32801	9/23/2020	11/3/2020	See Schedule A	Offer Adinyayev	10/10/2018
9 Deklab Avenue	Brooklyn	NY	11201	9 Dekalb Owner LLC	104 5th Avenue, New York, NY 10011	9/23/2020	11/3/2020	See Schedule A	Offer Adinyayev	9/25/2019
34 S 9th Street	Brooklyn	NY	11249	The 34 South 9th Street Condominium	PO Box 11098,1 Brooklyn, NY 11211	10/10/2020	11/3/2020	See Schedule A	Debra Netska	10/1/2020
153-52 76 <sup>th</sup> Road	Queens	NY	11367	76-28 Parsons Blvd. Realty Corp.	58-32 218 Street, Queens NY 11364	10/10/2020	11/3/2020	See Schedule A	Debra Netska	9/2/2020
31-50 14th Street AKA 1215 Broadway	Astoria	NY	11106	1215 Broadway LLC	1215 Broadway, Astoria, NY 11106	10/10/2020	11/3/2020	See Schedule A	Debra Netska	3/29/2019
124-28 Queens Boulevard	Queens	NY	11415	Luciano LLC (Mao Hua Dong) First Class Mgmt. Contr. Corp	1301 W Elizabeth Avenue, Linden, NJ 07036 108-08 52nd Avenue, Queens, NY 11368	9/22/2020 --	11/3/2020 11/3/2020	See Schedule A	Debra Netska	3/4/2020

# Schedule A to Exhibit 1

## SCOPE OF WORK

102 Charlton

## Project Information

## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

Version 2.1 4/19/2019

**Grey Fields are Mandatory for Enterprise and SMB projects**

Project Information							
Project Name:		FTTH					
Address:		102 Charlton St					
Map Number:		597					
Project Specific Statement of Work: (required if ROE is needed)		Residential Building					
PRISM ID:		2338231	Specialty Products:	FTTH			
Date of Survey:		7/30/2020	Surveyed by:	Rob Bongiovanni			
Competitive Presence		NO					
Length of Building							
Width of Building							
Number of Stories		22					
Building Exterior Finish							
Common MPOE Available If "Yes", Populate the MPOE Checklist tab		NO					
Prebury Drop							
Number of units in building		67					
Service drop length							
Fiber Verification Completed by							
Fiber Verification Complete Date							
Fields below are Optional not Mandatory							
Construction Passings							
Projected Passings		67		Vacant Lots Passed			
				Actual Homes Passed			
Composite Footage							
Aerial Footage		N/A		UG Footage			
				1854			
Detail Footage							
Survey Coax		Survey Fiber		Survey Other			
Aerial Footage		Aerial Footage		Aerial Vacant Strand			
Aerial Overlash		Aerial Overlash		New Aerial Strand			
UG Footage		UG Footage		Vacant Structure			
Trench		Trench		New Vacant Structure			
Bore		Bore					
Pull Thru		Pull Thru		Removed Direct Bury			
Bldg Attachment		Bldg Attachment		Drop			
Direct Bury		Direct Bury					
UG Occupied		UG Occupied					
AE Rework Existing		AE Rework Existing					
UG Rework Existing		UG Rework Existing					
AE Removed		AE Removed					

## Street Cut

### CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

#### Field Map

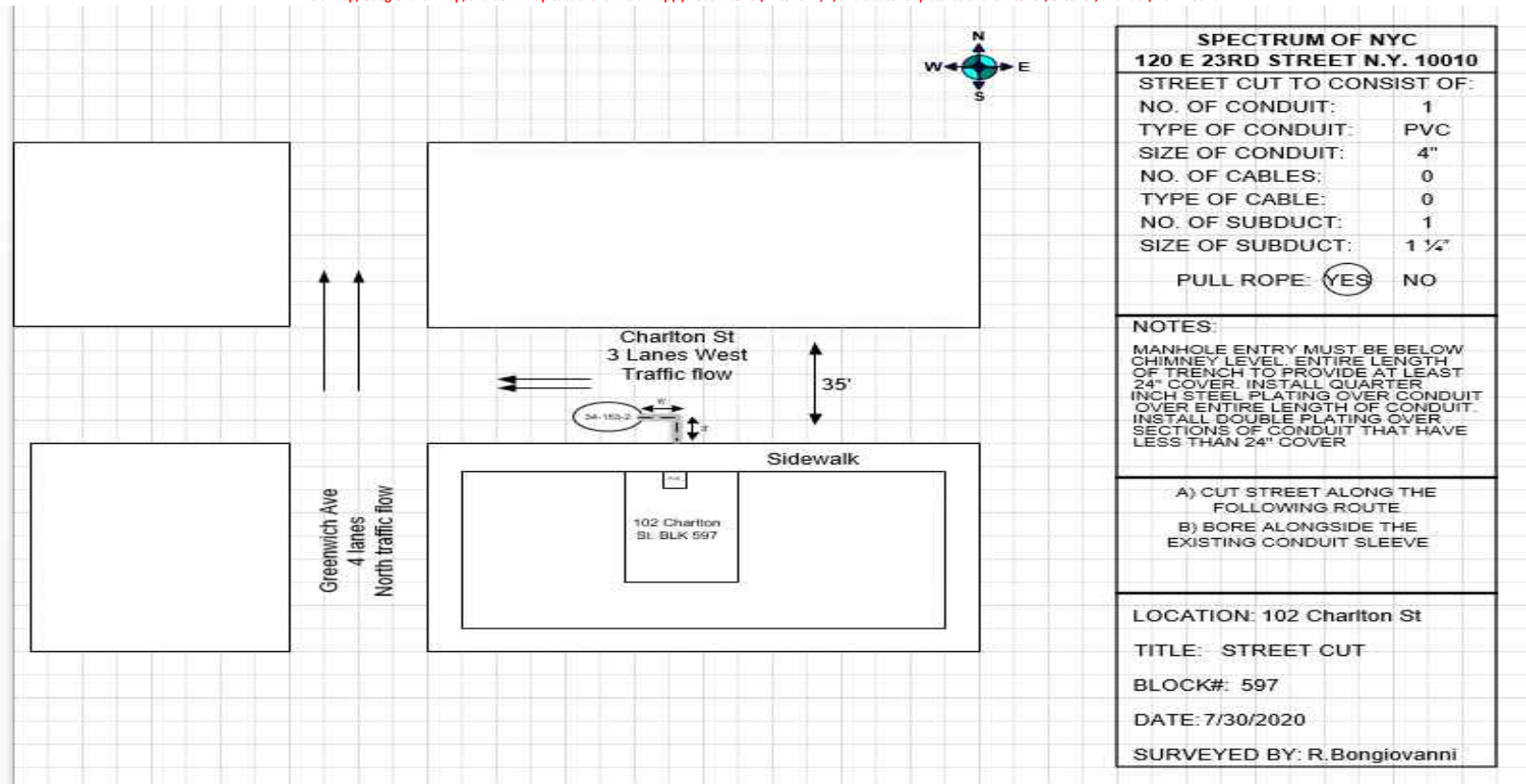
Detail from Right Of Way to Interior MPOE/demarc in or at the premises.

Insert Field Map

\*IF MTU, detailed description MUST contain Entire Building Layout, Rack, and Power Locations\*

Aerial Google or Bing hybrid picture with route highlighted from OSP tie in point to the venue (using the color scheme for aerial and UG from the Survey Color Code tab)

\*Field Map, Google Earth Map, and SOW Map tabs are for field map(s). Use Interior/Exterior 1, 2, and 3 tabs for pictures of the interior, exterior, and rack/wall mount.\*



## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

### Google Earth Map

Detail from Right Of Way to Interior MPOE/demarc in or at the premises.

Insert a Google Earth Map

\*IF MTU, detailed description MUST contain Entire Building Layout, Rack, and Power Locations\*

Aerial Google or Bing hybrid picture with route highlighted from OSP tie in point to the venue (using the color scheme for aerial and UG from the Survey Color Code tab)

\*Field Map, Google Earth Map, and SOW Map tabs are for field map(s). Use Interior/Exterior 1, 2, and 3 tabs for pictures of the interior, exterior, and rack/wall mount.\*

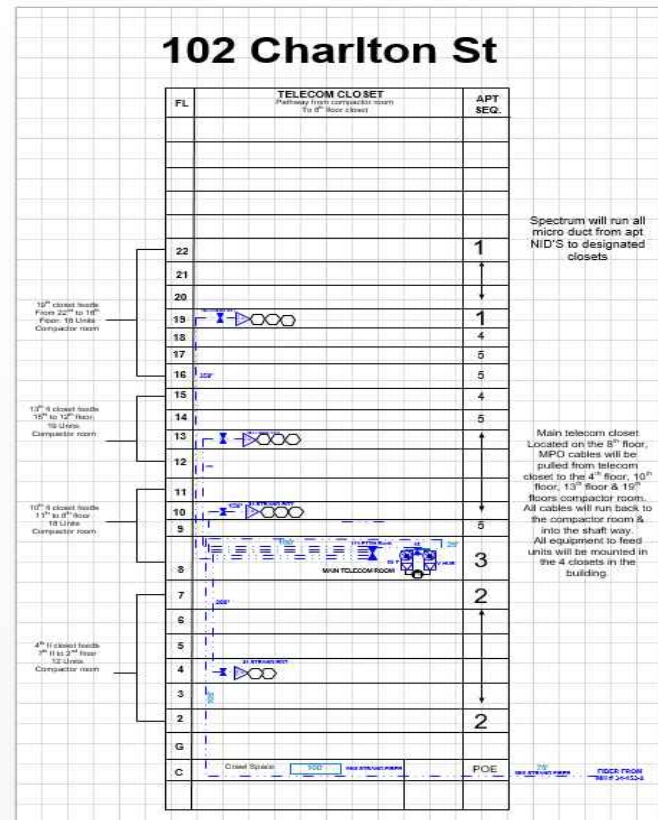




Riser Print

## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

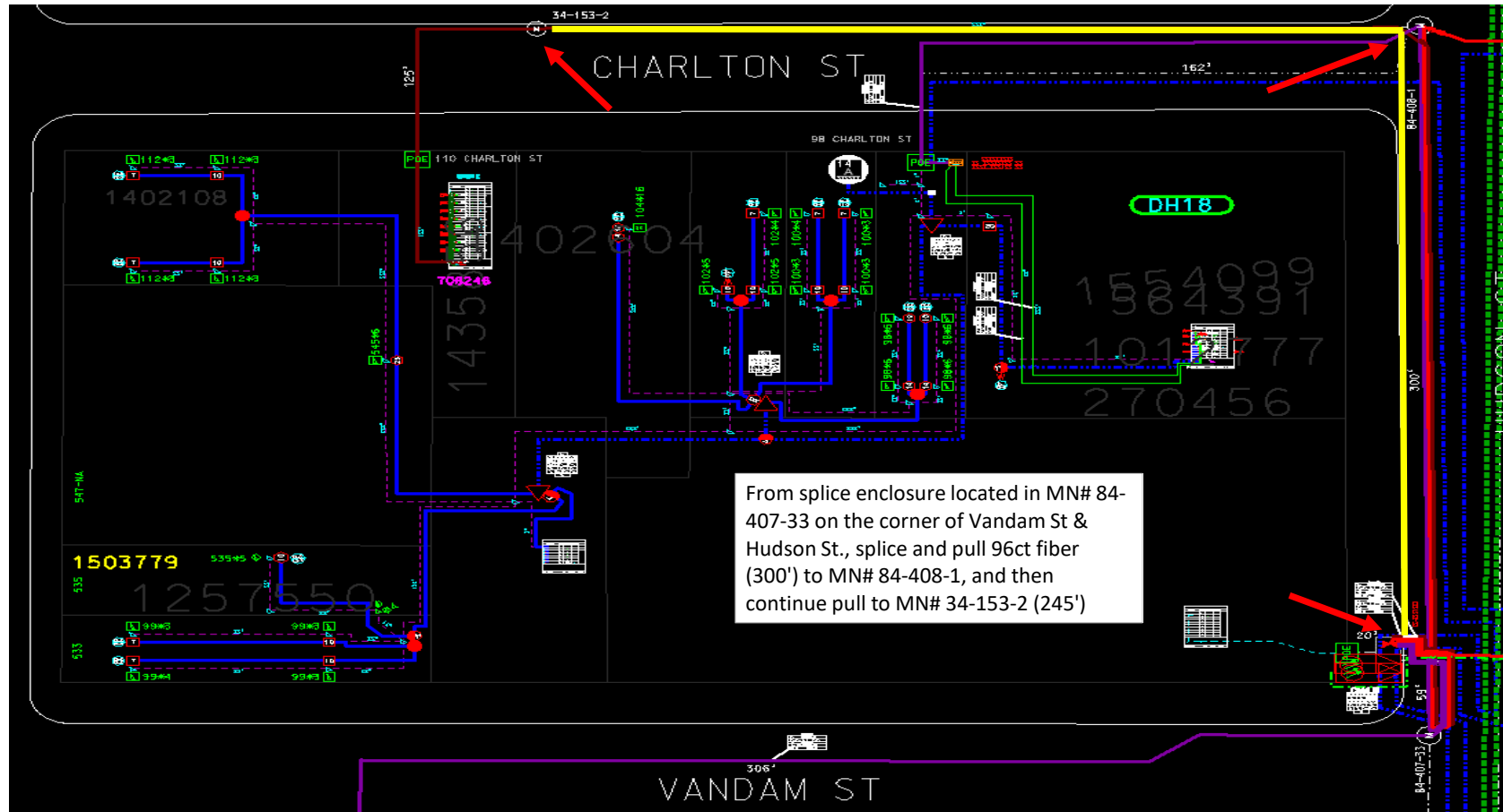
## RISER PRINT



## Street Pull

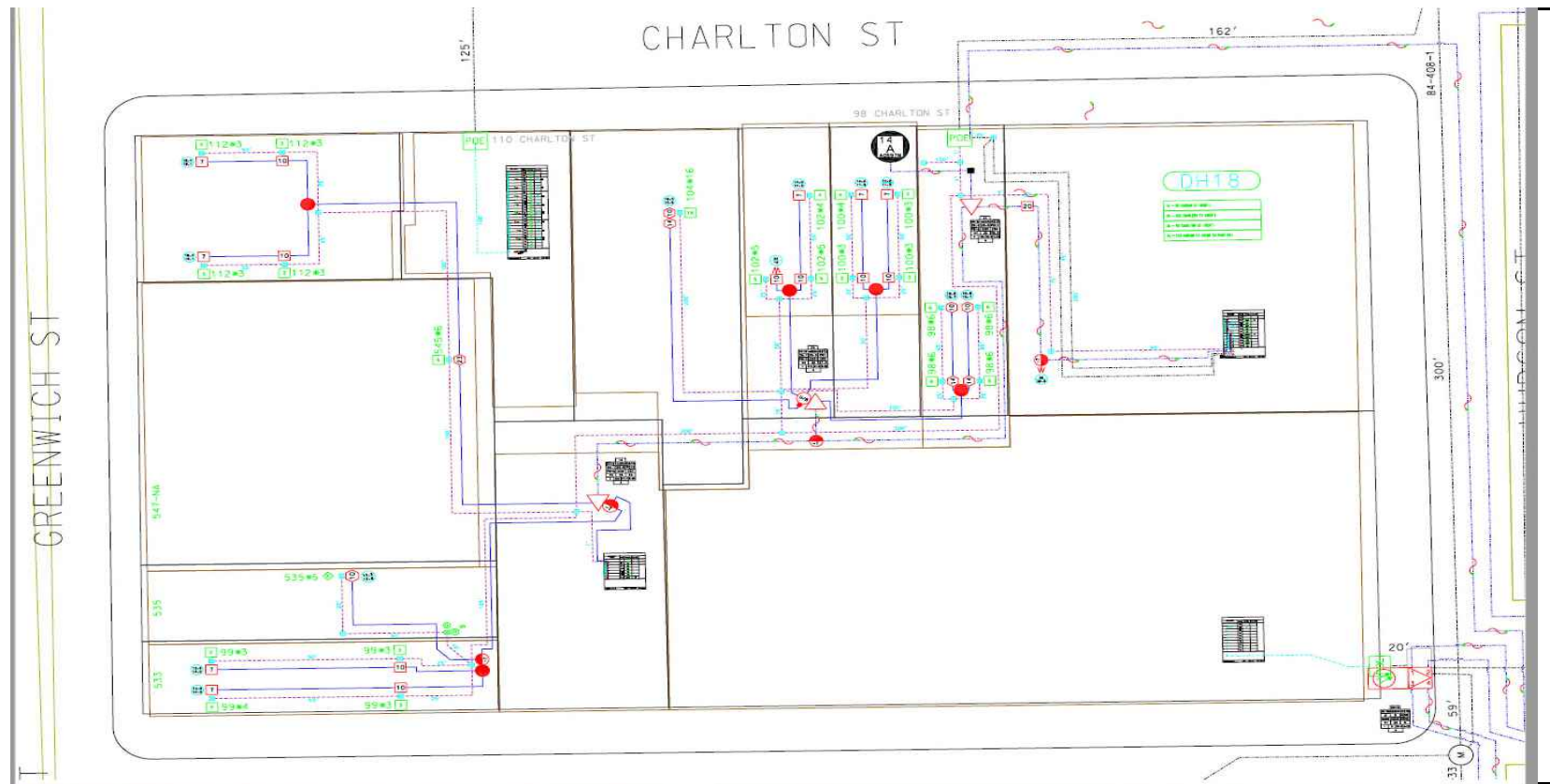
### CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

#### Street Pull



CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

BLOCK PRINT



## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

### Statement of Work (SOW) Map & Details

#### Detail from Right Of Way to Interior MPOE/demarc in or at the premises.

Insert SOW Map & Details

A SOW must include a detailed map, Google Earth and/or ground level pictures or layout, and a detailed description of what work will be done that can be presented to the owner to detail what work will happen/occur on their property, as in building entry, or any other kind of disturbance to their property, while showing the physical route of Charter's proposed plant.

When needed, SOW information is used to help in obtaining an ROE (Right of Entry).

1. From splice enclosure located in MN# 84-407-33 on the corner of Vandam St & Hudson St., splice and pull 96ct fiber (300') to MN# 84-408-1. Continue pull to MN# 34-153-2 (245')
2. A 9' street cut is needed from ECS # 34-153-2 M/H located in front of 102 Charlton St into the crawl Space of 102 Charlton St. From M/H pull a 96ct fiber 405' up to the 8th floor telecom closet. Pull fiber through pipe in crawl space & continue with pull up through the sleeves in the compactor room.
3. In the telco room install all FTTH equipment & power supply. See riser diagram
4. Pull 12mm micro duct (67) from each apartment NID to designated closets.
5. Pull all MPO cables from the 144 rack on the 8th to designated closets & install RDT'S, RFOGS, taps & lockboxes (If space is available in compactor room)
6. As of 7-30-2020 8th telco closet is not built & is subject to change.

## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

Insert Exterior & Interior Pictures  
Include Rack or Wall Mount Pictures



place text here  
EXTRA DETAIL



place text here  
EXTRA DETAIL



## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

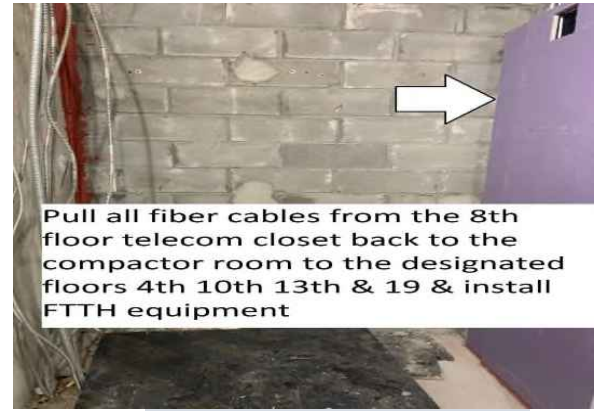
Insert Exterior & Interior Pictures  
Include Rack or Wall Mount Pictures



place text here  
EXTRA DETAIL



Pathway from the compactor room.



Pull all fiber cables from the 8th floor telecom closet back to the compactor room to the designated floors 4th 10th 13th & 19 & install FTTH equipment

place text here  
EXTRA DETAIL



G/C would like all micro duct and cables high & tight to the ceiling



## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

Insert Exterior & Interior Pictures  
Include Rack or Wall Mount Pictures



place text here  
EXTRA DETAIL

insert pic here

place text here  
EXTRA DETAIL

insert pic here

insert pic here

## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

**Insert Exterior & Interior Pictures**  
Include Rack or Wall Mount Pictures

insert pic here

insert pic here

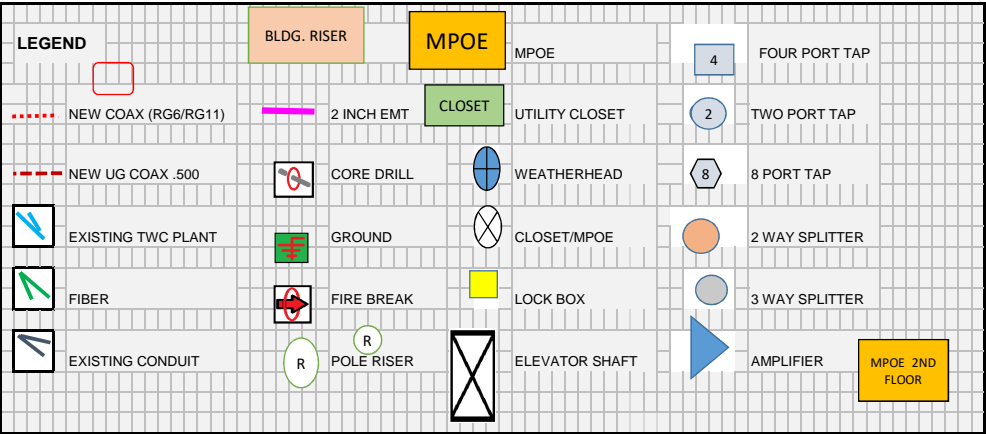
place text here  
EXTRA DETAIL

place text here  
EXTRA DETAIL

insert pic here

insert pic here





PLACE 2" EMT ON 4X4 SUPPORT  
BOARDS

PLACE COAX HARDLINE INSIDE ATTIC CRAWL  
SPACE

PERIMETER ATTIC ACCESS

RAMBLER STYLE FLOOR  
PLAN, UP TO THREE  
FLOORS, STACKED  
WALLS

D C B

TOP VIEW ROOF

SIDE VIEW

HALLWAYS

HORSESHOE STYLE FLOOR PLAN

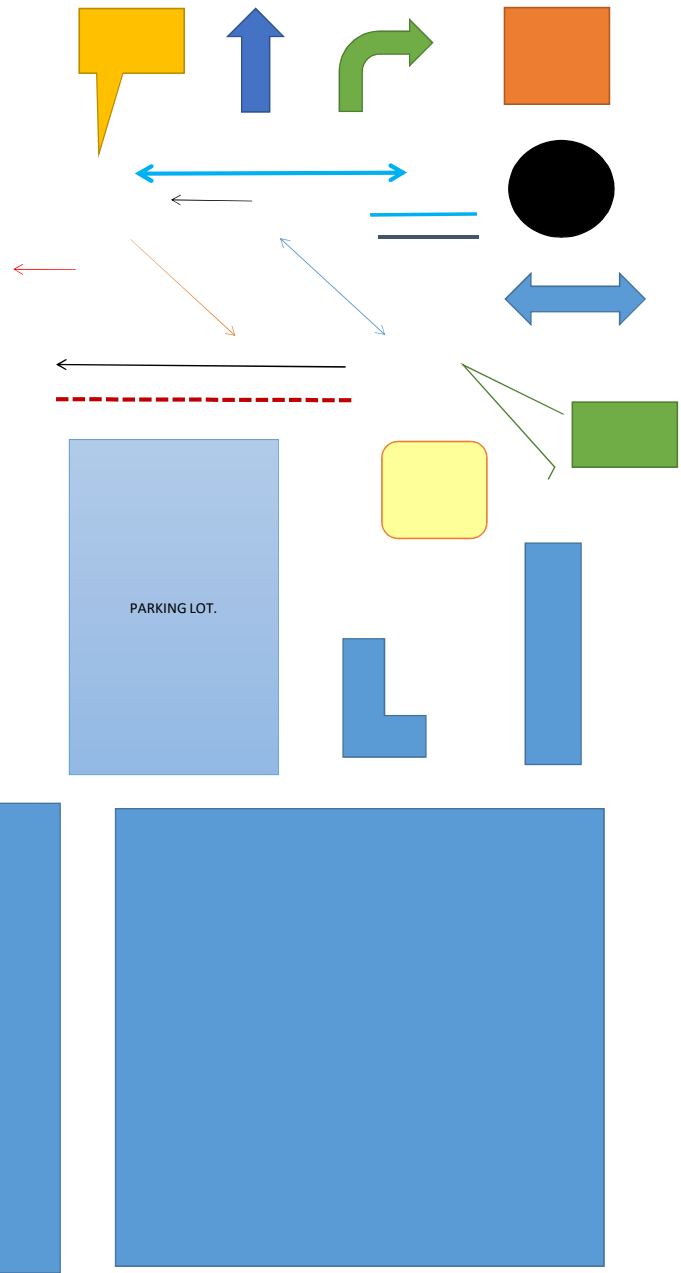
BASEMENT SUB  
PARKING

RUN MOLDING ALONG  
CEILING CORNERS

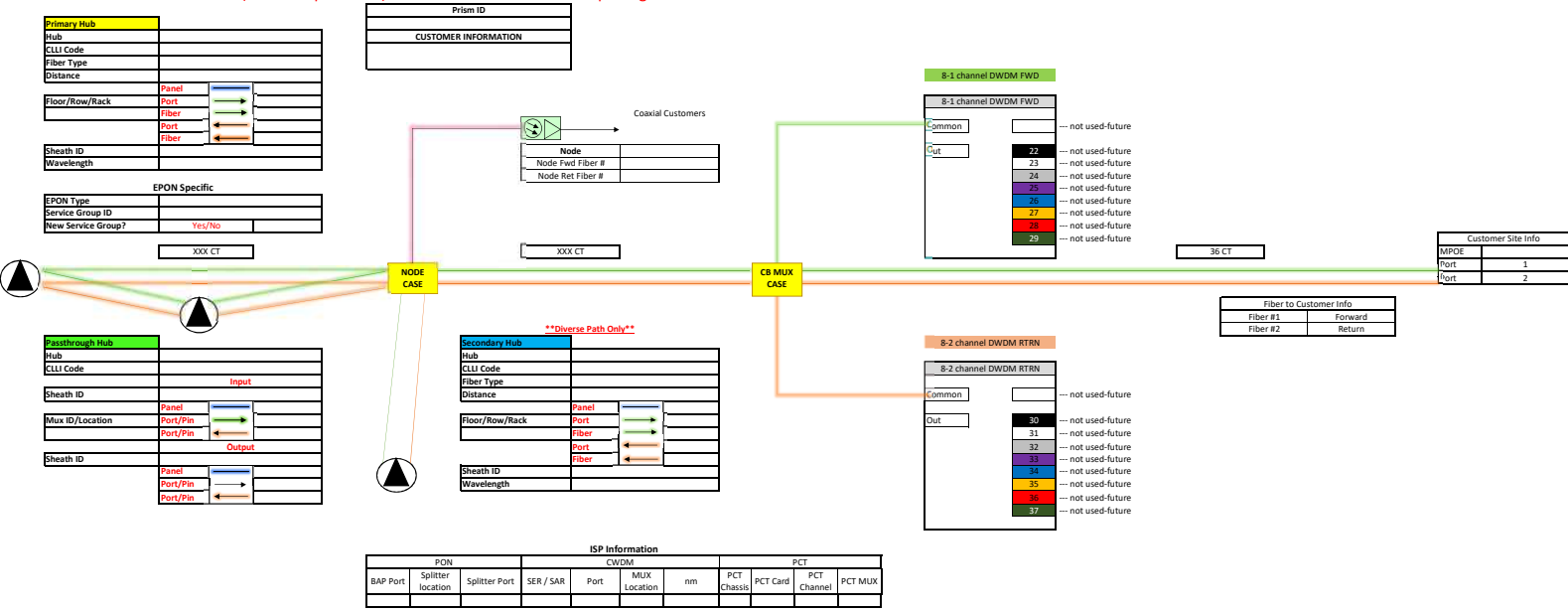
CORE DRILL DOWN FROM ROOF INTO CLOSETS

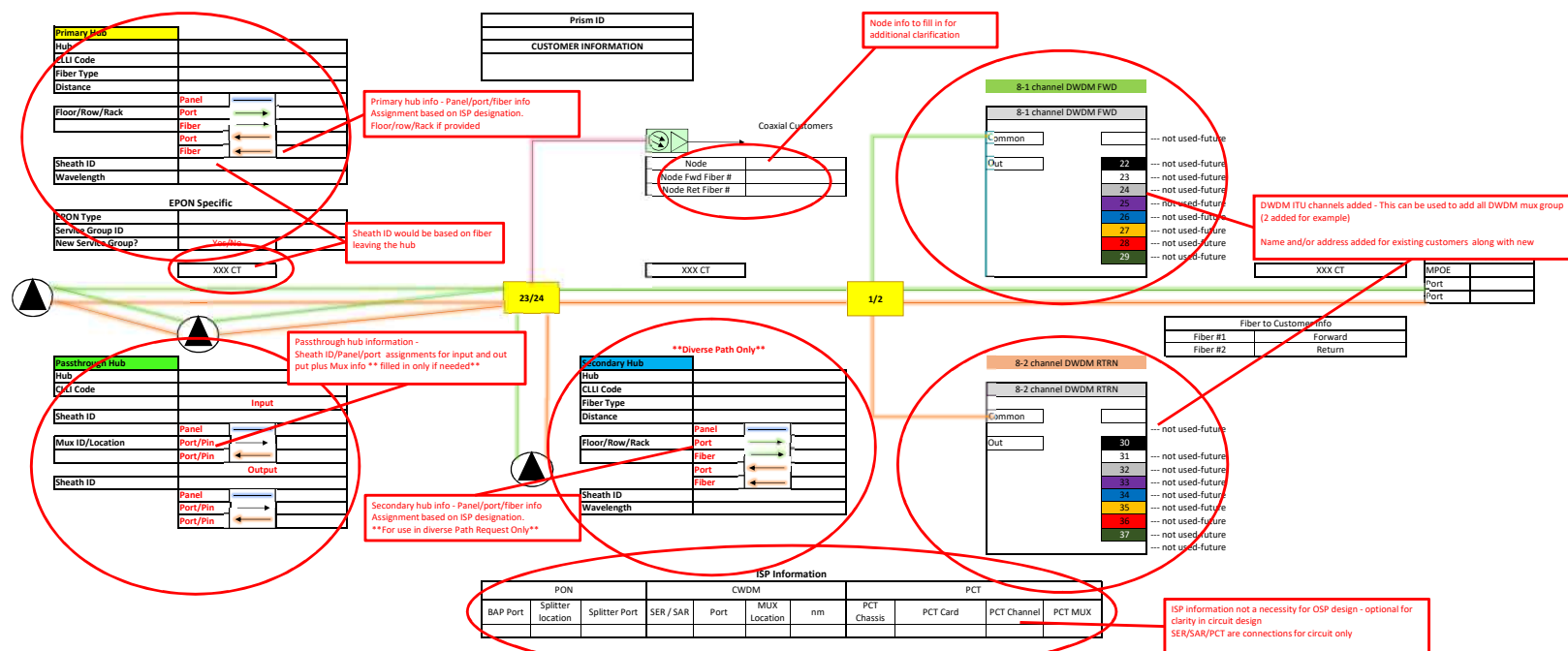
RISER BUILDING MULTI STORY

16 8 9 7



See the next tab in the workbook (FI with explanation) for more information on completing this tab.





**Name**  
8 channel CWDM FWD  
1x4 PON FWD  
8-1 channel DWDM FWD  
8-2 channel DWDM FWD

8 channel CWDM FWD		
	1310	--- not used-future
Out	1430	--- not used-future
	1450	--- not used-future
	1470	--- not used-future
	1490	--- not used-future
	1510	--- not used-future
	1570	--- not used-future
	1590	--- not used-future
	1610	--- not used-future

1x4 PON FWD		
IN	1	--- not used-future
	2	--- not used-future
	3	--- not used-future
	4	--- not used-future

8-1 channel DWDM FWD		
Common		--- not used-future
Out	22	--- not used-future
	23	--- not used-future
	24	--- not used-future
	25	--- not used-future
	26	--- not used-future
	27	--- not used-future
	28	--- not used-future
	29	--- not used-future

8-2 channel DWDM FWD		
Common		--- not used-future
Out	30	--- not used-future
	31	--- not used-future
	32	--- not used-future
	33	--- not used-future
	34	--- not used-future
	35	--- not used-future
	36	--- not used-future
	37	--- not used-future

**Name**  
8 channel CWDM RTRN  
1x4 PON RTRN  
8-1 channel DWDM RTRN  
8-2 channel DWDM RTRN

8 channel CWDM RTRN		
	1310	--- not used-future
Out	1430	--- not used-future
	1450	--- not used-future
	1470	--- not used-future
	1490	--- not used-future
	1510	--- not used-future
	1570	--- not used-future
	1590	--- not used-future
	1610	--- not used-future

1x4 PON RTRN		
IN	1	--- not used-future
	2	--- not used-future
	3	--- not used-future
	4	--- not used-future

8-1 channel DWDM RTRN		
Common		--- not used-future
Out	22	--- not used-future
	23	--- not used-future
	24	--- not used-future
	25	--- not used-future
	26	--- not used-future
	27	--- not used-future
	28	--- not used-future
	29	--- not used-future

8-2 channel DWDM RTRN		
Common		--- not used-future
Out	30	--- not used-future
	31	--- not used-future
	32	--- not used-future
	33	--- not used-future
	34	--- not used-future
	35	--- not used-future
	36	--- not used-future
	37	--- not used-future

CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

**Power Plat**  
**Detail Power Plat Map for design layout**

Insert Power Plat map

**\*Power Plat is required for all Greenfield and FTTH projects\***



CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

**Power Plat**  
**Detail Power Plat Map for design layout**

Insert Power Plat map

**\*Power Plat is required for all Greenfield and FTTH projects\***



# Master Plan

## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

### Development Master Plan

Insert Master Plan below

*\*Attach master plan for the entire development if different from power plat\**

## Mechanical Engineering Plan

### CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

#### Mechanical Engineering Plan

Insert MEP below  
\*Attach MEP if available \*



## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

[Back to Main Tab](#)

### Corporate Approval

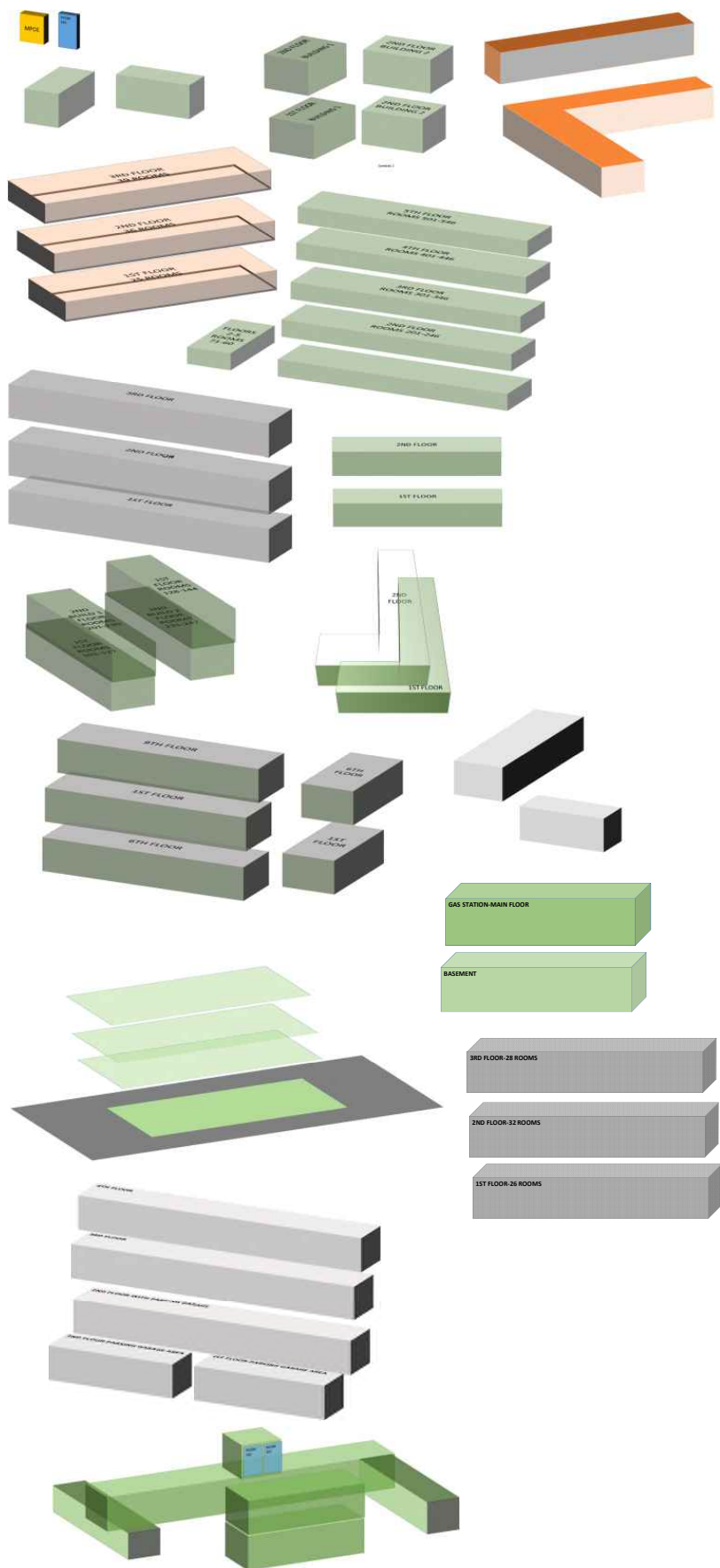
FTTP builds require Corporate approval. Include/attach the approval email to this tab.

Channel	Wavelength (in nm)
1 (DWDM Channel C01)	1577.03
2 (DWDM Channel C02)	1576.2
3 (DWDM Channel C03)	1575.37
4 (DWDM Channel C04)	1574.54
5 (DWDM Channel C05)	1573.71
6 (DWDM Channel C06)	1572.89
7 (DWDM Channel C07)	1572.06
8 (DWDM Channel C08)	1571.24
9 (DWDM Channel C09)	1570.42
10 (DWDM Channel C10)	1569.59
11 (DWDM Channel C11)	1568.67
12 (DWDM Channel C12)	1567.95
13 (DWDM Channel C13)	1567.13
14 (DWDM Channel C14)	1566.31
15 (DWDM Channel C15)	1565.5
16 (DWDM Channel C16)	1564.68
17 (DWDM Channel C17)	1563.86
18 (DWDM Channel C18)	1563.05
19 (DWDM Channel C19)	1562.23
20 (DWDM Channel C20)	1561.42
21 (DWDM Channel C21)	1560.61
22 (DWDM Channel C22)	1559.79
23 (DWDM Channel C23)	1558.98
24 (DWDM Channel C24)	1558.17
25 (DWDM Channel C25)	1557.36
26 (DWDM Channel C26)	1556.55
27 (DWDM Channel C27)	1555.75
28 (DWDM Channel C28)	1554.94
29 (DWDM Channel C29)	1554.13
30 (DWDM Channel C30)	1553.33
31 (DWDM Channel C31)	1552.52
32 (DWDM Channel C32)	1551.72
33 (DWDM Channel C33)	1550.92
34 (DWDM Channel C34)	1550.12
35 (DWDM Channel C35)	1549.32
36 (DWDM Channel C36)	1548.51

Channel	Wavelength (in nm)
37 (DWDM Channel C37)	1547.72
38 (DWDM Channel C38)	1546.92
39 (DWDM Channel C39)	1546.12
40 (DWDM Channel C40)	1545.32
41 (DWDM Channel C41)	1544.53
42 (DWDM Channel C42)	1543.73
43 (DWDM Channel C43)	1542.94
44 (DWDM Channel C44)	1542.14
45 (DWDM Channel C45)	1541.35
46 (DWDM Channel C46)	1540.56
47 (DWDM Channel C47)	1539.77
48 (DWDM Channel C48)	1538.98
49 (DWDM Channel C49)	1538.19
50 (DWDM Channel C50)	1537.4
51 (DWDM Channel C51)	1536.61
52 (DWDM Channel C52)	1535.82
53 (DWDM Channel C53)	1535.04
54 (DWDM Channel C54)	1534.25
55 (DWDM Channel C55)	1533.47
56 (DWDM Channel C56)	1532.68
57 (DWDM Channel C57)	1531.9
58 (DWDM Channel C58)	1531.12
59 (DWDM Channel C59)	1530.33
60 (DWDM Channel C60)	1529.55
61 (DWDM Channel C61)	1528.77
62 (DWDM Channel C62)	1527.99
63 (DWDM Channel C63)	1527.22
64 (DWDM Channel C64)	1526.44
65 (DWDM Channel C65)	1525.66
66 (DWDM Channel C66)	1524.89
67 (DWDM Channel C67)	1524.11
68 (DWDM Channel C68)	1523.34
69 (DWDM Channel C69)	1522.56
70 (DWDM Channel C70)	1521.79
71 (DWDM Channel C71)	1521.02
72 (DWDM Channel C72)	1520.25

# CHARTER COMMUNICATIONS CONSTRUCTION SURVEY





606 West 30th Street

# Project Information

## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

Version 1.0 04/19/2018

Project Information			
Project Name:	DSNY		
Address:	606 WEST 30TH STREET		
Map Number	701A		
Prism ID:	1050460		
Delivery Method:	COAX	Specialty Products:	
Date of Survey:	11/6/2018	Surveyed by:	FRANK J. MOLEY
Competitive Presence	NO		
Length of Building	250		
Width of Building	300		
Number of Stories	16		
Building Exterior Finish	BRICK		
Common MPOE Available	NO		
Common MPOE Location	N/A		
Common MPOE Room Access Specifics	N/A		
Private Non-MPOE Equipment Location	N/A		
Power: Is it available and where	MAIN SWITCH ROOM		
Rack or Wall Mount	WALL MOUNT		
Space Availability for Rack/Wall Mount	WALL MOUNT		
Cores Required to Enter Building	NO		
Prebury Drop	NO		
Number of units in building	NA		
Service drop length	150'		
Fiber Verification Completed by	N/A		
Fiber Verification Complete Date	N/A		



Construction Passings		
Projected Passings	Vacant Lots Passed	Actual Homes Passed
Composite Footage		
Aerial Footage	UG Footage	650
Detail Footage		
<b>Survey Coax</b> Aerial Footage Aerial Overlash  UG Footage 650  UG Occupied AE Rework Existing UG Rework Existing AE Removed	<b>Survey Fiber</b> Aerial Footage Aerial Overlash  UG Footage  UG Occupied AE Rework Existing UG Rework Existing AE Removed	<b>Survey Other</b> Aerial Vacant Strand New Aerial Strand  Vacant Structure NO New Vacant Structure NO  Removed Direct Bury Drop

Phone Number  
mdoyle@rentec.com

## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

**Detail from Right Of Way to Interior MPOE/demarc in or at the premises.**

**Insert Field Map**

**\*IF MTU, detailed description MUST contain Entire Building Layout, Rack, and Power Locations\***

**Aerial Google or Bing hybrid picture with route highlighted from OSP tie in point to the venue (using the color scheme for aerial and UG from the Survey Color Codes tab)**

**\*Field Map 1, 2, and 3 tabs are for field map(s). Use Interior/Exterior 1, 2, and 3 tabs for pictures of the interior, exterior, and rack/wall mount.\***



## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

Detail from Right Of Way to Interior MPOE/demarc in or at the premises.

Insert Field Map

\*IF MTU, detailed description MUST contain Entire Building Layout, Rack, and Power Locations\*

Aerial Google or Bing hybrid picture with route highlighted from OSP tie in point to the venue (using the color scheme for aerial and UG from the Survey Color Codes tab)

\*Field Map 1, 2, and 3 tabs are for field map(s). Use Interior/Exterior 1, 2, and 3 tabs for pictures of the interior, exterior, and rack/wall mount.\*

**SPECIAL INSTRUCTIONS:** Please Email Clinton Management for Access to Exit 312 11th Ave Tberman@clintonmanagement.com. for Access to 606 West 30th Street Contact Syed Zaidi szaidi@dsny.nyc.gov (212) 291-1162 .

1. From E.C.S. Manhole # 53-256-1 Construct (1) Street Cut With (1) 4" PVC Pipe going West on West 30th Street to 606 West 30th Street 315' Away.
2. Locate NODE# AH02 Along with Bridger Amplifier (1B) in the Mezzanine Telcom Closet as per Uploaded Drawings. On the open Port of (1B) Install (1) SSP-9. On the Tap leg of the SSP-9 Connect & Pull (1) 1" 1/4 Innerduct & (1) P-3 500 Cable Following the Existing FOC to M/H #53-256-1 Through the newly installed Street Cut to 606 West 30th Street POE 315' Away.
3. In the New POE Area of 606 West 30th Street Install (1) Bridger Aplifier along with (1) SSP-9 & (1) FFT-8 Way Tap as per uploaded Drawing at the Clients Dmark Location.
4. Have A/C Pass through to feed at 606 West 30th Street. Record Signal Level's Tag all Line's & Terminate all open Ports. Send all Asbuilt's back to the Design Department.



# CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

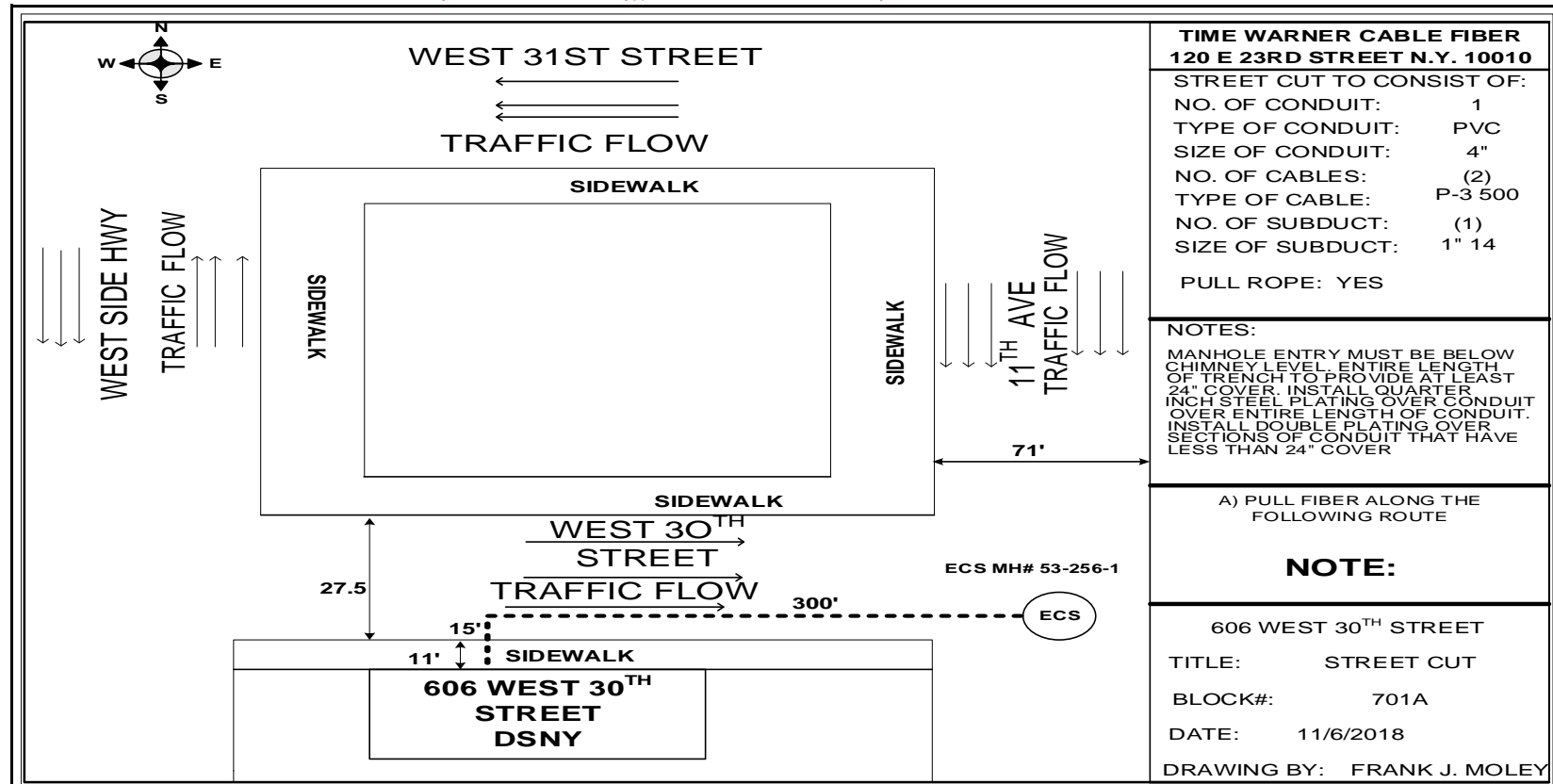
Detail from Right Of Way to Interior MPOE/demarc in or at the premises.

Insert Field Map

\*IF MTU, detailed description MUST contain Entire Building Layout, Rack, and Power Locations\*

Aerial Google or Bing hybrid picture with route highlighted from OSP tie in point to the venue (using the color scheme for aerial and UG from the Survey Color Codes tab)

\*Field Map 1, 2, and 3 tabs are for field map(s). Use Interior/Exterior 1, 2, and 3 tabs for pictures of the interior, exterior, and rack/wall mount.\*



## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

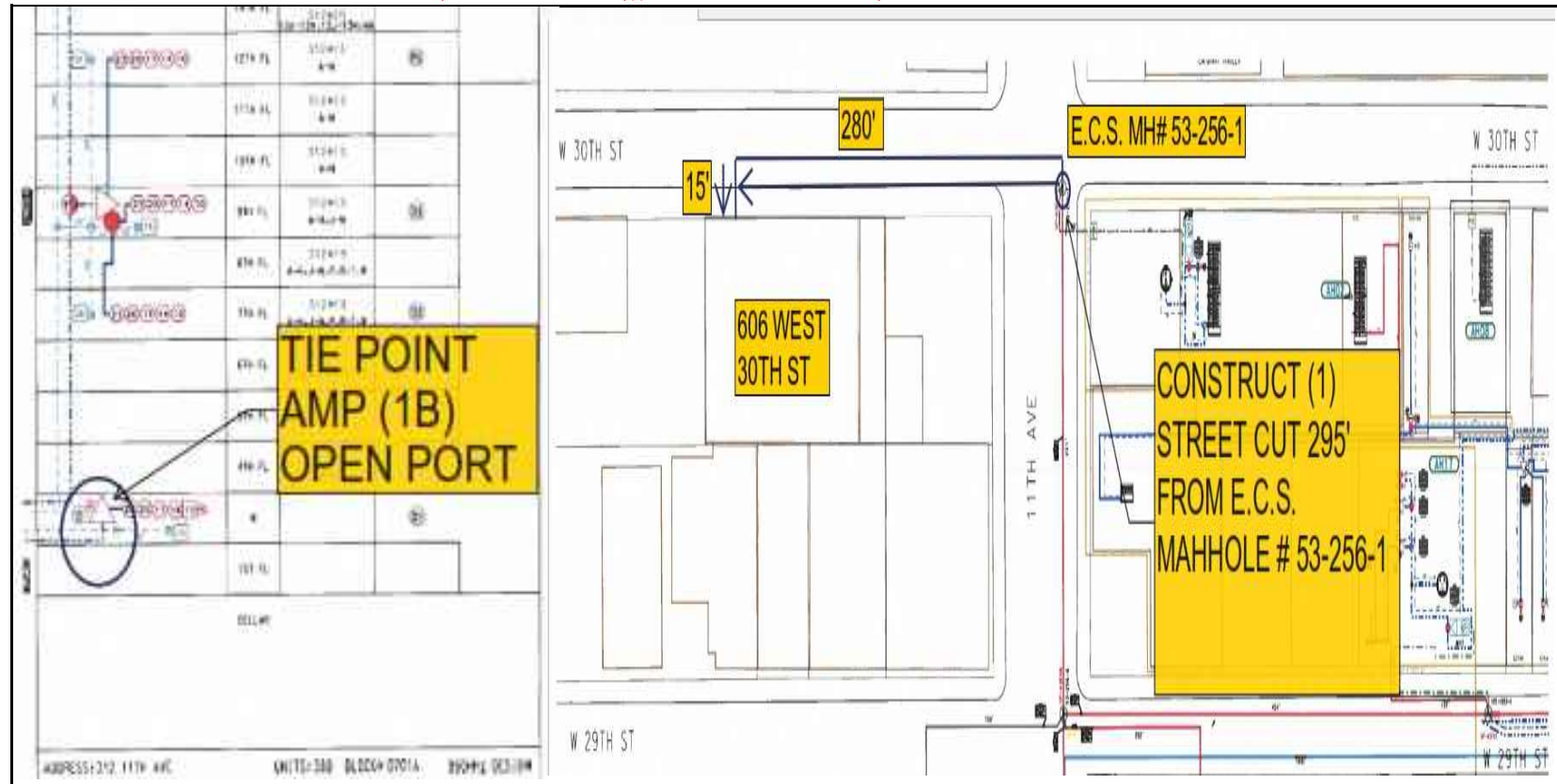
Detail from Right Of Way to Interior MPOE/demarc in or at the premises.

Insert Field Map

\*IF MTU, detailed description MUST contain Entire Building Layout, Rack, and Power Locations\*

Aerial Google or Bing hybrid picture with route highlighted from OSP tie in point to the venue (using the color scheme for aerial and UG from the Survey Color Codes tab)

\*Field Map 1, 2, and 3 tabs are for field map(s). Use Interior/Exterior 1, 2, and 3 tabs for pictures of the interior, exterior, and rack/wall mount.\*



## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

### Construction Mux Survey

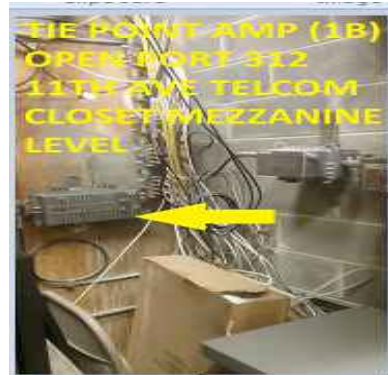
**NOTE:** If OSP Design receives a request without the necessary Jira 1 information in the Construction Survey, the design request may not be recognized and worked.

L-CHTR areas that currently do not use Jira 1 tickets are exempt from this requirement. If you are not sure if your area is exempt from using Jira 1, please contact OSP Design.

Customer Name:	Construction	
Customer Address:	Construction	
Hubsite:	Construction	
Fiber #s:	Construction	
Fiber frequency:	Construction	
Dark or Lit Fiber:	Construction	
Lit Fiber appointment Date/Time:	Construction	
What is the current Mux capacity: (4,6,8,10)	ISP	
Is the Mux port available:	ISP	
If the requested Mux Port is NOT open, please list what ports are open:	ISP	
Is a new Mux needed?	ISP	
If so, list the model to order:	ISP	
List the Business names located on the Active Legacy Mux:	ISP	
Is a new Mux Chassis required?	ISP	
If so, list the model to order:	ISP	
Fiber length (in meters), if needed to connect to a new Mux shelf:	ISP	
Fiber connector type, if needed to connect to a new Mux shelf:	ISP	

## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

Insert Exterior & Interior Pictures  
Include Rack or Wall Mount Pictures



TIE POINT MEZZ. LEVEL 312 11TH AVE  
PULL 450' OF 1' 1/4 INNERDUCT & P-3 500



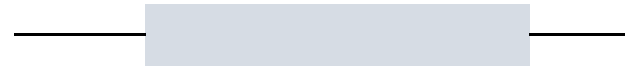
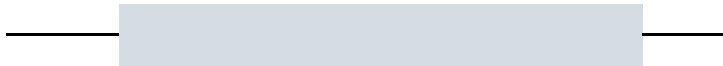
E.C.S. M/H 53-256-1 11TH AVE & W 30 ST  
D-MARK 606 W 30TH STREET



## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

**Insert Exterior & Interior Pictures**  
Include Rack or Wall Mount Pictures

insert pic here



insert pic here

insert pic here

# CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

	Green - NEW UG		ADD ANCHOR, POWER & PHONE
	YELLOW - EXISTING UG PIPE (TWC)		TRANSFORMER, POWER & PHONE
	BLUE - EXISTING PIPE (CUSTOMER)		TRANSFORMER & POWER
	PURPLE - EXISTING PIPE (AT&T)		POWER POLE
	ORANGE - NEW OVERHEAD		RISER POLE
	PINK - OVERLASH OVERHEAD		POLE ONLY/ADD CONCRETE ANCHOR
			CATV ONLY
			CONCRETE POLE
			STEEL POLE

43-46 51st Street



120 East 23<sup>rd</sup> Street  
New York, NY 10010

**SURVEY DEPARTMENT  
NEW RESIDENTIAL CONSTRUCTION**

---

<b>PRISM ID #:</b> 1977526	<b>UNITS:</b> 75	<b>BLOCK:</b>
<b>DATE ISSUED:</b> 4/22/2020	<b>UNKNOWN (COMMERCIAL)</b>	
<b>FLOORS:</b> 9 Floors		
<b>ADDRESS:</b> 43-46 51 <sup>st</sup> Street Flushing NY, 11377		
<b>WORK ORDER SURVEYED BY:</b> Mario Lopez		
<b>SURVEY DATE:</b> 4/22/2020		
<b>POC:</b> Harry (917) 476-9939	<b>Email:</b>	<b>Title:</b>

**THIS DOCUMENT IS FOR BUILDING APPROVAL ONLY**

**CHARTER/SPECTRUM CABLE OF NEW YORK CITY SHALL DO THE FOLLOWING:**

- A. PULL FIBER RISER
- B. COMPLETE FINAL HOOK-UPS IN APARTMENTS
- C. COMPLETE FINAL HOOK UP AT ALL RISERS
- D. COMPLETE FINAL CONNECTION AT POINT OF SERVICE TO BUILDING.  
(COMPLETE ALL OUTSIDE WORK)
- E. PROVIDE ALL CABLE
- F. PULL CABLE FROM THE DESIGNATED LOCATION INTO THE P.O.E OF **43-46 51 ST STREET** (TARGET BUILDING)
- G. PULL (1) FIRE RATED FIBER FROM THE DESIGNATED CELLAR FLOOR RISER LOCATIONS UP TO THE LAST TELECOM CLOSET ON THE 9<sup>TH</sup> FLOOR IN A 4-INCH EMT PIPE PROVIDED BY THE BUILDER.
- H. INSTALL ALL EQUIPMENT IN EACH TELECOM CLOSET ON THE 4'4' x 3/4' FIRE RATED PLYWOOD PANELS THAT THE WE WILL SUPPLY.

=====

COMMENTS:

=====

**CHARTER/SPECTRUM CABLE MARKETING AND DEVELOPMENT**

**APPROVED BY:**  
**PRINT NAME:**  
**PRINT TITLE:**

**DATE:**



**SURVEY DEPARTMENT  
NEW RESIDENTIAL CONSTRUCTION**

---

**WORK TO BE PERFORMED BY DEVELOPER'S CONTRACTOR**

1. Provide (1) 4' x 4' x 3/4" fire rated plywood panel in the main telecom room designated for Charter passive/active equipment.
2. Supply 110 VAC 20 Amp circuit to power Charter Equipment Riser
3. Provide (1) 4'x4'x 3/4" fire rated plywood panel for CATV equipment in each of the telecom closets that will have equipment up the riser.
4. Supply 110 VAC outlet in each of the telecom closets to power Charter Equipment

**Apartment Wiring:**

1. Mount NID Boxes and blank wall plates at all CATV outlet locations.
2. Pull cables from the NID Box throughout each apartment to each wall plate outlet.
3. Tag and identify all Charter/Spectrum Cable Lines.
4. Provide 110 VAC outlet in each NID to power Charter Equipment

**WORK TO BE PERFORMED BY SPECTRUM**

**Point of Entry ("P.O.E"):**

1. Provide (1) core to accommodate (1) 4-inch conduit through the P.O.E.

**Riser:**

1. Provide (1) 4" EMT conduit from the main telecom room up to the top floor of the telecom closets with breaks in floors 1-9. On Floors that we will install equipment.
2. Pull (1) Hybrid cable, to each apartment from designated telecom closet; **(home run cables cannot exceed 150ft. (NO EXCEPTIONS))**

70-09 45th Avenue



120 East 23<sup>rd</sup> Street  
New York, NY 10010

**SURVEY DEPARTMENT  
NEW RESIDENTIAL CONSTRUCTION**

---

<b>PRISM ID #:</b> 2041940	<b>UNITS:</b> 40 UNITS (RESIDENTIAL)	<b>BLOCK:</b>
<b>DATE ISSUED:</b> 3/15/2020	<b>UNKNOWN (COMMERCIAL)</b>	
<b>FLOORS:</b> 9 FLOORS		
<b>ADDRESS:</b> 7009 45 <sup>TH</sup> AVENUE WOODSIDE, NY 11377		
<b>WORK ORDER SURVEYED BY:</b> PHIL GORDON		
<b>SURVEY DATE:</b> 3/15/2020		
<b>POC:</b> LUIS (212) 470-8913	<b>Email:</b>	<b>Title:</b> SUPERINTENDENT

**THIS DOCUMENT IS FOR BUILDING APPROVAL ONLY**

**CHARTER/SPECTRUM CABLE OF NEW YORK CITY SHALL DO THE FOLLOWING:**

- A. PULL COAX RISER
- B. COMPLETE FINAL HOOK-UPS IN APARTMENTS
- C. COMPLETE FINAL HOOK UP AT ALL AMPLIFIERS AND RISERS
- D. COMPLETE FINAL CONNECTION AT POINT OF SERVICE TO BUILDING.  
(DO ALL OUTSIDE WORK)
- E. PROVIDE ALL CABLE
- F. PULL CABLE FROM THE DESIGNATED LOCATION INTO THE P.O.E
- G. PULL (1) FIRE RATED CABLE FROM THE DESIGNATED GROUND FLOOR RISER LOCATIONS UP TO THE  
LAST TELECOM CLOSET ON THE 9<sup>TH</sup> FLOOR IN A 4-INCH EMT CONDUIT.
- H. INSTALL ALL EQUIPMENT IN EACH TELECOM CLOSET

=====

COMMENTS:

=====

**CHARTER/SPECTRUM CABLE MARKETING AND DEVELOPMENT**

**APPROVED BY:**  
**PRINT NAME:**  
**PRINT TITLE:**

**DATE:**

**SURVEY DEPARTMENT  
NEW RESIDENTIAL CONSTRUCTION**

---

**WORK TO BE PERFORMED BY DEVELOPER'S CONTRACTOR**

**Point of Entry ("P.O.E"):**

The P.O.E for Charter CATV service will be located at side of 7009 45<sup>th</sup> Avenue (Target Building) following existing RCN POE

1. Provide (1) 4' x 4' x 3/4" fire rated plywood panel in the main telecom room designated for Charter passive/active equipment.
2. Supply 110 VAC 20 Amp circuit to power Charter Equipment Riser
3. Provide (1) 4'x4'x 3/4" fire rated plywood panel for CATV equipment in each of the telecom closets that will have equipment up the riser.
4. Supply 110 VAC outlet in each of the telecom closets to power Charter Equipment
5. Provide coax cable, to each apartment from designated telecom closet on each floor.

**Apartment Wiring:**

1. Mount NID Boxes and blank wall plates at all CATV outlet locations.
2. Pull cables from the NID Box throughout each apartment to each wall plate outlet.
3. Tag and identify all Charter/Spectrum Cable Lines.
4. Provide 110 VAC outlet in each NID to power Charter Equipment

**WORK TO BE PERFORMED BY SPECTRUM**

**Point of Entry ("P.O.E"):**

1. Provide (1) core to accommodate (1) 4-inch conduit through the P.O.E.

**Riser:**



- 1. Provide (1) 4" EMT conduit from the main telecom room up to the top floor of the telecom closets with breaks in floors (1, 2,3,4,5,6,7,8, and 9). On Floors that we will install equipment.**

144 West Street



120 East 23<sup>rd</sup> Street  
New York, NY 10010

**SURVEY DEPARTMENT  
NEW RESIDENTIAL CONSTRUCTION**

---

PRISM ID #: 1980490	UNITS: 22 UNITS (RESIDENTIAL)	BLOCK:
DATE ISSUED: 6/19/2020	UNKNOWN (COMMERCIAL)	
FLOORS: 7 FLOORS		
ADDRESS: 144 WEST STREET BROOKLYN, NY 11222		
WORK ORDER SURVEYED BY: MARK TOMPKINS		
SURVEY DATE: 6/19/2020		
POC: CHRIS KARALIS (347) 804-7829	Email:	Title:

**THIS DOCUMENT IS FOR BUILDING APPROVAL ONLY**

**CHARTER/SPECTRUM CABLE OF NEW YORK CITY SHALL DO THE FOLLOWING:**

- A. PULL COAX RISER
- B. COMPLETE FINAL HOOK-UPS IN APARTMENTS
- C. COMPLETE FINAL HOOK UP AT ALL AMPLIFIERS AND RISERS
- D. COMPLETE FINAL CONNECTION AT POINT OF SERVICE TO BUILDING.  
(DO ALL OUTSIDE WORK)
- E. PROVIDE ALL CABLE
- F. PULL CABLE FROM THE DESIGNATED LOCATION INTO THE P.O.E
- G. PULL (1) FIRE RATED CABLE FROM THE DESIGNATED GROUND FLOOR RISER LOCATIONS UP TO THE  
LAST TELECOM CLOSET ON THE 7<sup>TH</sup> FLOOR IN A 4-INCH EMT CONDUIT.
- H. INSTALL ALL EQUIPMENT IN EACH TELECOM CLOSET

=====

COMMENTS:

=====

**CHARTER/SPECTRUM CABLE MARKETING AND DEVELOPMENT**

APPROVED BY:  
PRINT NAME:  
PRINT TITLE:

DATE:

**SURVEY DEPARTMENT  
NEW RESIDENTIAL CONSTRUCTION**

---

**WORK TO BE PERFORMED BY DEVELOPER'S CONTRACTOR**

1. Provide (1) 4' x 4' x 3/4" fire rated plywood panel in the main telecom room designated for Charter passive/active equipment.
2. Supply 110 VAC 20 Amp circuit to power Charter Equipment.
3. Provide (1) 4'x4'x 3/4" fire rated plywood panel for CATV equipment in each of the telecom closets that will have equipment at riser.
4. Supply 110 VAC outlet in each of the telecom closets to power Charter Equipment.
5. Provide coax cable, to each apartment from designated telecom closet on each floor.

**Apartment Wiring:**

1. Mount NID Boxes and blank wall plates at all CATV outlet locations.
2. Pull cables from the NID Box throughout each apartment to each wall plate outlet.
3. Tag and identify all Charter/Spectrum Cable Lines.
4. Provide 110 VAC outlet in each NID to power Charter Equipment

**WORK TO BE PERFORMED BY SPECTRUM**

**Point of Entry ("P.O.E"):**

1. Provide (1) core to accommodate (1) 4-inch conduit. The P.O.E for Charter CATV service will be located at front of building facing West Street.

**Riser:**

1. Provide (1) 4" EMT conduit from the main telecom room up to the top floor of the telecom closets with breaks in floors (1, 2, 3, 4, 5, 6, and 7). On Floors that we will install equipment.



301 E 62nd Street

# Tabs by Job Type

The list below details which tabs need to be completed by Job Type. The entire survey form does not need to be completed for every survey performed. Use the table below to determine which tabs and/or field need to be completed. Every Job Type lists the Project Information tab, but not every field on the tab needs to be completed. The grey fields are only necessary for Enterprise and SMB projects.

## Residential-MDU

[Project Information](#)  
[Field Map \(redline\)](#)  
[Google Earth Map \(redline fiber tie point\)](#)  
[Interior/ Exterior Photos \(for ROE\)](#)  
[Mechanical Engineering Plan \(MEP\)](#)

## Residential Line Extension-SDU

[Project Information](#)  
[Field Map \(redline\)](#)  
[Google Earth Map \(redline, For Greenfield projects include fiber tie point, power supply/ node location\)](#)  
[Power Plat \(if Greenfield\)](#)

## Fiber to the Home

[Project Information](#)  
[Field Map \(redline\)](#)  
[Google Earth Map \(redline, fiber tie point, power supply/ OLT location if for greenfield\)](#)  
[Power Plat \(if Greenfield\)](#)  
[FTTP Approval Email](#)

## SMB

[Project Information](#)  
[Field Map \(redline\)](#)  
[Google Earth Map \(redline with tie point\)](#)  
[SOW Map](#)  
[Interior/ Exterior Photos \(for ROE\)](#)

## Infrastructure Modification/ Repair

[Plant Replacement Form \(not a tab of workbook; separate form completed by Maintenance\)](#)

## ISP Request

[Project Information](#)  
[Field Map \(redline\)](#)  
[Google Earth Map \(redline\)](#)

## Competitive Survey

No Design Required

## Enterprise

[Project Information](#)  
[Field Map \(redline\)](#)  
[Google Earth Map \(redline\)](#)  
[Fiber Information](#)  
[SOW Map](#)  
[Interior/ Exterior Photos \(for ROE\)](#)  
[MPOE Checklist](#)

## Additional tabs

Reference only; nothing to complete on these tabs

[FI with Explanation](#)  
[Symbols for FI](#)  
[DWDM Channels and Wavelengths](#)  
[Survey Color Code](#)  
[Symbols 1](#)  
[Symbols 2](#)

# Project Information

## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

Version 2.1 4/19/2019

**Grey Fields are Mandatory for Enterprise and SMB projects**

Project Information			
Project Name:	National		
Address:	301 East 62nd st		
Map Number:	CF55/1437		
Project Specific Statement of Work: (required if ROE is needed)	Residential Building		
PRISM ID:	1835344	Specialty Products:	Coax
Date of Survey:	11/21/2019	Surveyed by:	Rob Bongiovanni
Competitive Presence	YES		
Length of Building			
Width of Building			
Number of Stories	15		
Building Exterior Finish			
Common MPOE Available If "Yes", Populate the MPOE Checklist tab	NO		
Prebury Drop			
Number of units in building	All New Builds MUST have this filled out		
Service drop length			
Fiber Verification Completed by			
Fiber Verification Complete Date			
<b>Fields below are Optional not Mandatory</b>			
Construction Passings			
Projected Passings		Vacant Lots Passed	
		Actual Homes Passed	
Composite Footage			
Aerial Footage	N/A	UG Footage	
Detail Footage			
Survey Coax		Survey Fiber	
Aerial Footage		Aerial Footage	
Aerial Overlash		Aerial Overlash	
UG Footage	600	UG Footage	
Trench	0	Trench	
Bore	N/A	Bore	
Pull Thru	0	Pull Thru	
Bldg Attachment	600	Bldg Attachment	
Direct Bury	N/A	Direct Bury	
UG Occupied		UG Occupied	
AE Rework Existing		AE Rework Existing	
UG Rework Existing		UG Rework Existing	
AE Removed		AE Removed	
Survey Other			
Aerial Vacant Strand			
New Aerial Strand			
Vacant Structure			
New Vacant Structure			
Removed Direct Bury			
Drop			



Building Access Information	Name	Phone Number
After Hours	Irina Besser	212-813-3048
Emergency		

# MPOE Checklist

## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

### MPOE Checklist (optional)

<b>Room name</b>	Room location	<b>EQUIPMENT LOCATION</b>	<b>PIC OF MOUNTING LOCATION FOR EQUIPMENT</b>
	Room security/ access		
	Power: AC receptacle		
	Dedicated circuit		
	48V DC Power available		
	Other (describe)		
	Other (describe)		
<b>Mounting type</b>			
Wall board; Available wall board space			
Rack (size)			
Rack (other)			
Available Rack Space			
RUs (increments of 1.75")			
Cable paths to tenants: conduit available.			
New internal conduits required			
Other (describe)			
Other (describe)			
Other (describe)			

Notes/ Comments:

**THIS INFO MUST BE FILL OUT FOR ALL JOBS**

## Field Map

### CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

#### Field Map

Detail from Right Of Way to Interior MPOE/demarc in or at the premises.

Insert Field Map

**\*IF MTU, detailed description MUST contain Entire Building Layout, Rack, and Power Locations\***

**Aerial Google or Bing hybrid picture with route highlighted from OSP tie in point to the venue (using the color scheme for aerial and UG from the Survey Color Code tab)**

**\*Field Map, Google Earth Map, and SOW Map tabs are for field map(s). Use Interior/Exterior 1, 2, and 3 tabs for pictures of the interior, exterior, and rack/wall mount.\***

PRINT WITH FOOTAGES MUST BE ENTER HERE

## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

### Google Earth Map

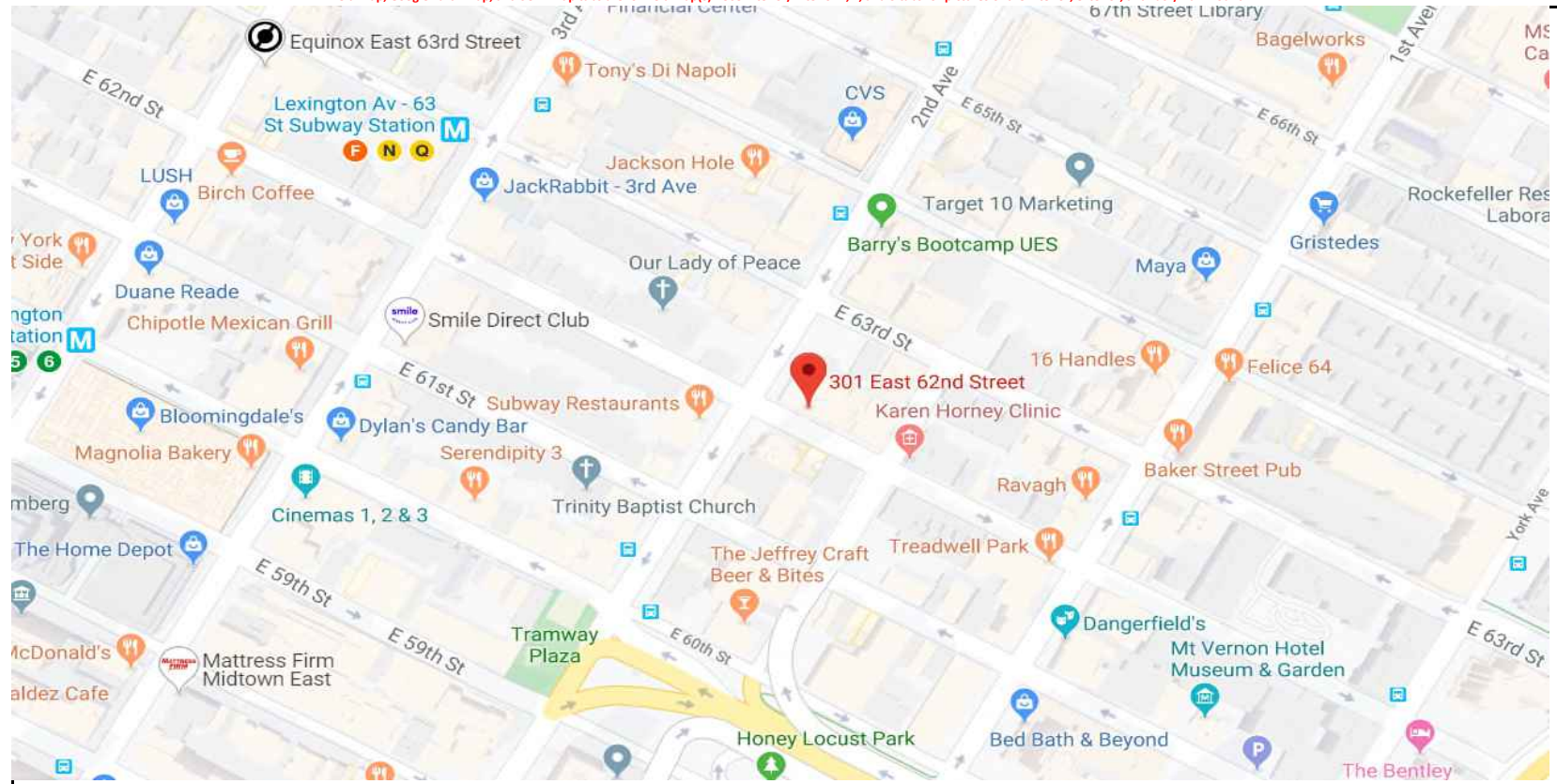
Detail from Right Of Way to Interior MPOE/demarc in or at the premises.

Insert a Google Earth Map

\*IF MTU, detailed description MUST contain Entire Building Layout, Rack, and Power Locations\*

Aerial Google or Bing hybrid picture with route highlighted from OSP tie in point to the venue (using the color scheme for aerial and UG from the Survey Color Code tab)

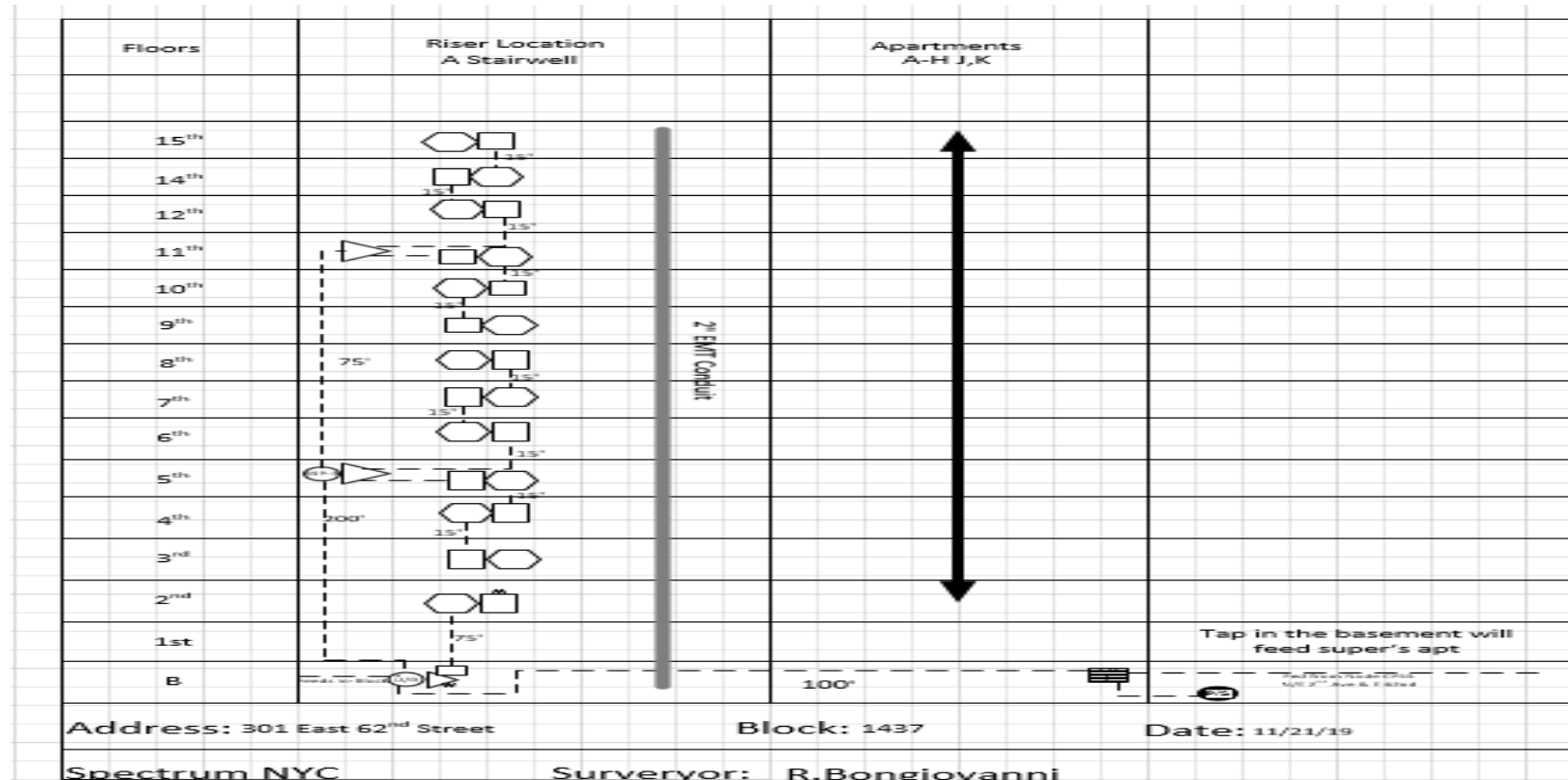
\*Field Map, Google Earth Map, and SOW Map tabs are for field map(s). Use Interior/Exterior 1, 2, and 3 tabs for pictures of the interior, exterior, and rack/wall mount.\*



# Riser Print

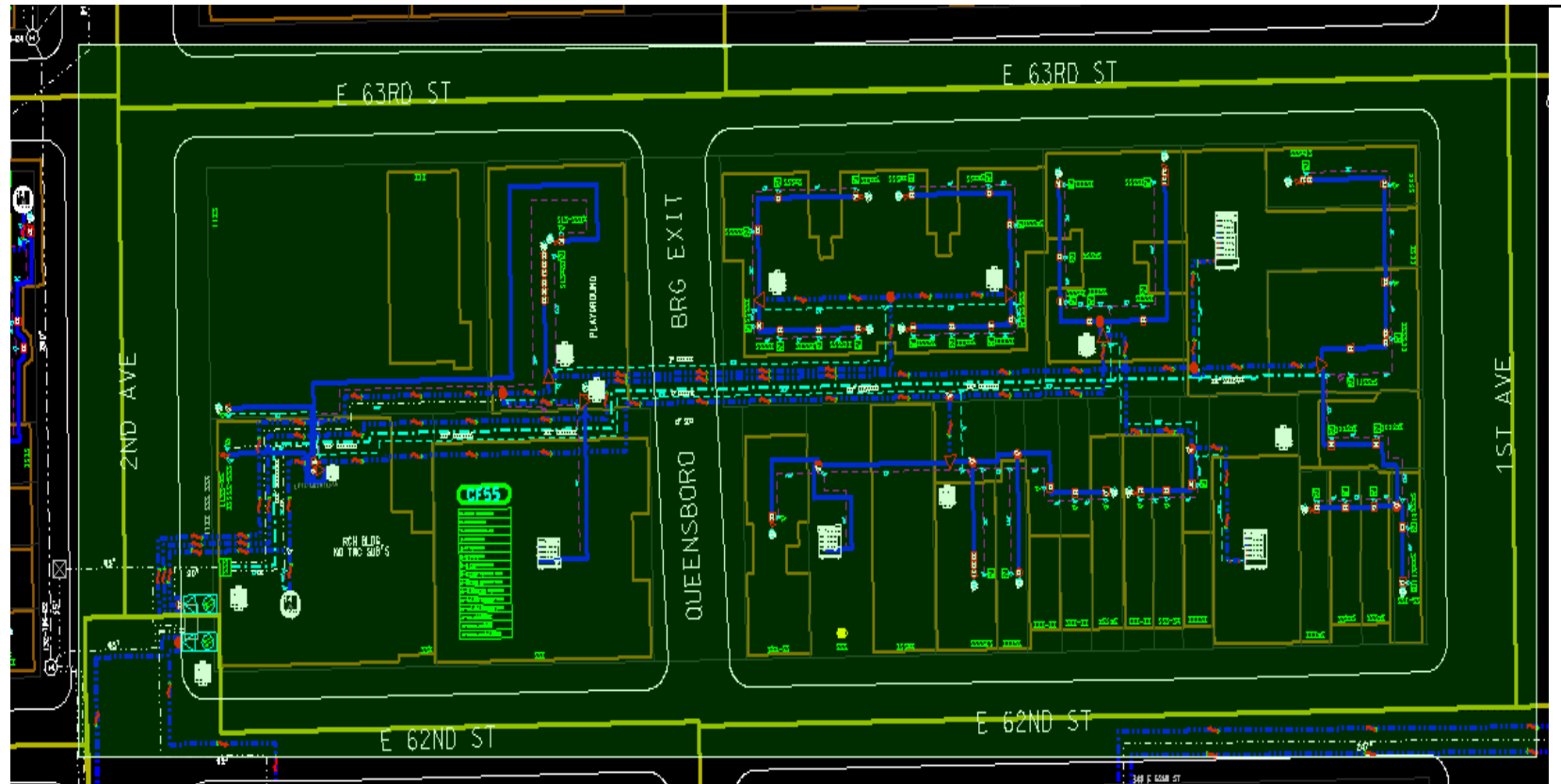
## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

### RISER PRINT



# CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

## BLOCK PRINT





## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

### Statement of Work (SOW) Map & Details

#### Detail from Right Of Way to Interior MPOE/demarc in or at the premises.

Insert SOW Map & Details

A SOW must include a detailed map, Google Earth and/or ground level pictures or layout, and a detailed description of what work will be done that can be presented to the owner to detail what work will happen/occur on their property, as in building entry, or any other kind of disturbance to their property, while showing the physical route of Charter's proposed plant.

When needed, SOW information is used to help in obtaining an ROE (Right of Entry).

6. Pull a total of 130 6u cables (10) on each floor into the hallway crown molding & to every apartment.
7. Check and record levels in the building, clean up all work areas when the job is completed.
8. Rebalance all existing in block AMPS.

## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

### Statement of Work (SOW) Map & Details

#### Detail from Right Of Way to Interior MPOE/demarc in or at the premises.

Insert SOW Map & Details

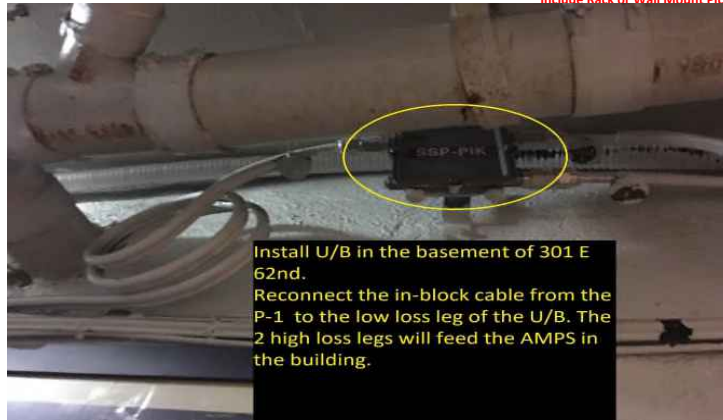
A SOW must include a detailed map, Google Earth and/or ground level pictures or layout, and a detailed description of what work will be done that can be presented to the owner to detail what work will happen/occur on their property, as in building entry, or any other kind of disturbance to their property, while showing the physical route of Charter's proposed plant.

When needed, SOW information is used to help in obtaining an ROE (Right of Entry).

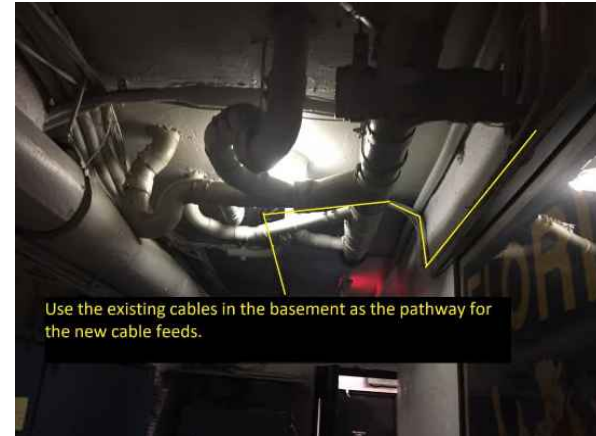
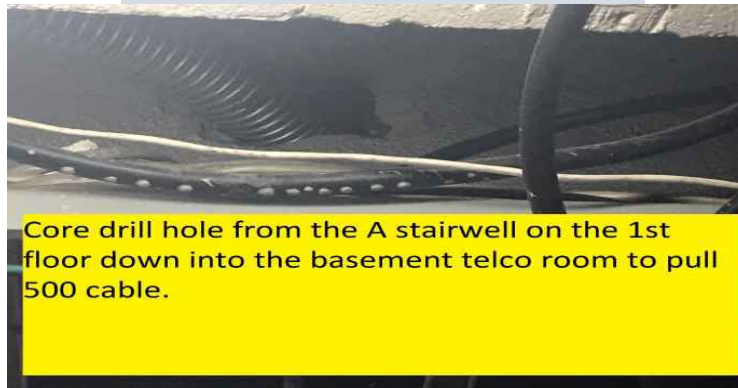
1. Install (1) U/B to the SSP1 in the basement of 301 East 62nd st. Reconnect existing in-block cable to the low loss leg of the U/B. Run 125' of P-3 500 off the high loss leg of the U/B in the basement and install (1) AMP in the basement, run the 2nd feed off the the U/B up to the 5th floor.
2. Core drill (14) holes from the 15th fl down to the basement in the A stairwell & install 2" EMT with 13 lockboxes & building vertical riser with (2) taps on every floor. Install (2) AMPS on the 5th fl & 11th floor. See riser diagram. (FIRE STOP ALL HOLES MADE INSIDE THE STAIRWELL)
3. Run 200' of P-3 500 cable from the U/B in the basement up to the 5th fl and leave 15' coils on both ends of the cable. Install (1) SSP3 & (1) AMP on the 5th fl, then run 75' of 500 cable up to the 11th fl & install (1) AMP & leave 15' coils on both ends
4. From the output of the AMP install (1) tap and run 75' of P-3 500 cable up to the 2nd fl & install (2) taps inside the lockbox. From the 2nd fl up to the 15th fl run 10' of 500 cable on every floor and leave 15' coils on all ends for the riser.
5. From each lockbox from the 2nd fl up to the 15th floor, run 10' greenfield into the hallway to run the apartment 6u drops. Fire stop all holes.

## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

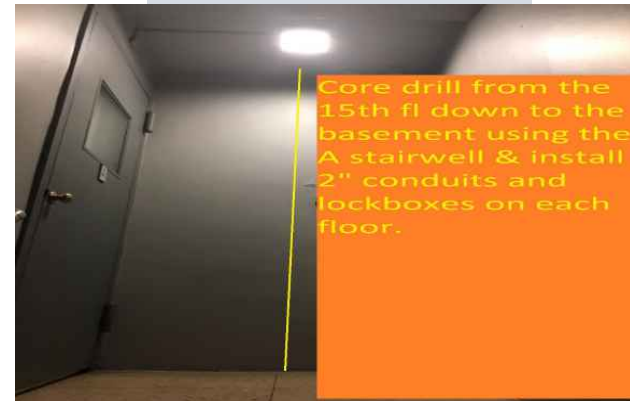
Insert Exterior & Interior Pictures  
Include Back or Wall Mount Pictures



place text here  
EXTRA DETAIL



place text here  
EXTRA DETAIL



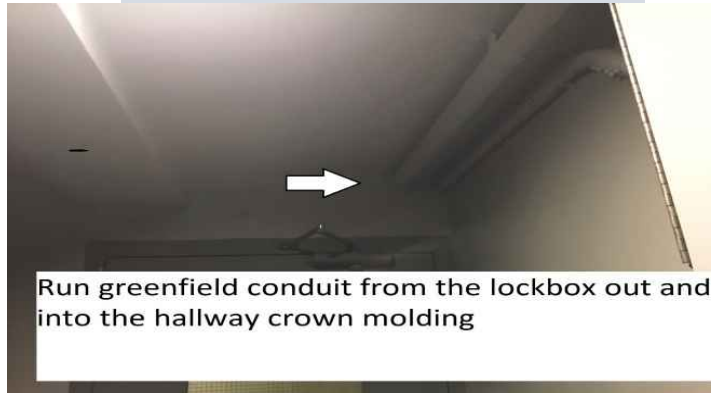
## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

Insert Exterior & Interior Pictures  
ictures

From the U/B in the basement run 100' of P-3 500 cable and install (1) AMP to feed the tap in the basement and the taps on the 2nd fl. See riser diagram.



place text here  
EXTRA DETAIL



Run greenfield conduit from the lockbox out and into the hallway crown molding



2nd floor landing. Use greenfield conduit on this floor.

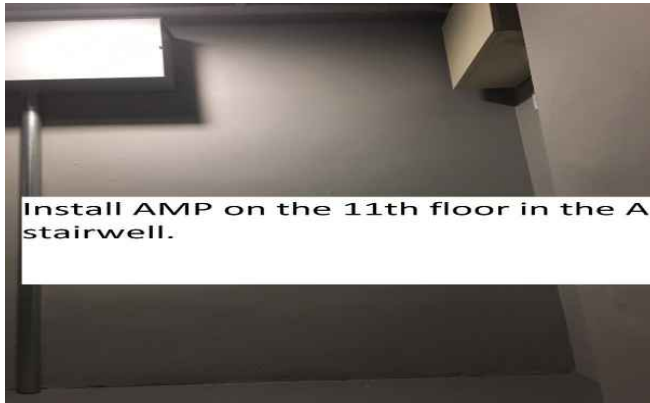
place text here  
EXTRA DETAIL



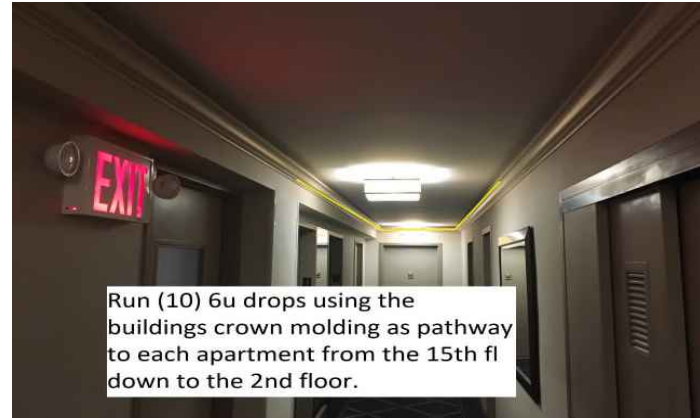
Install AMP on the 5th floor

## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

Insert Exterior & Interior Pictures  
Include Rack or Wall Mount Pictures



place text here  
EXTRA DETAIL



place text here  
EXTRA DETAIL

insert pic here

## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

**Insert Exterior & Interior Pictures**  
Include Rack or Wall Mount Pictures

insert pic here

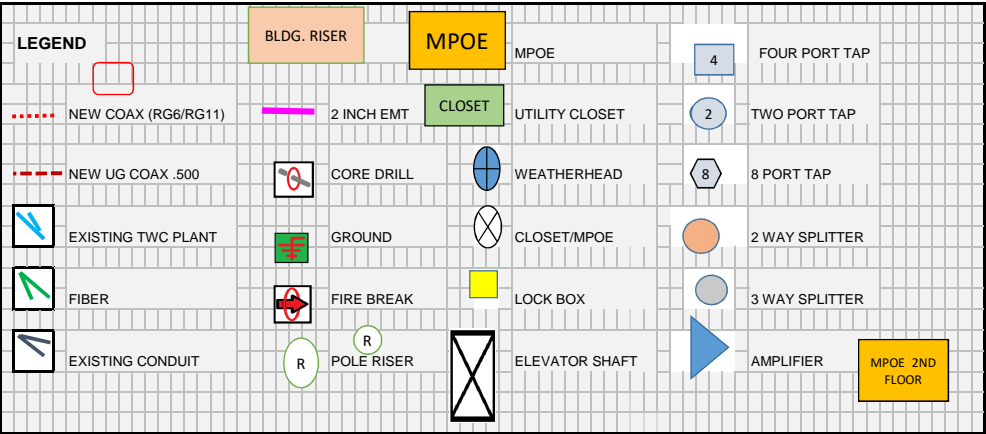
insert pic here

place text here  
EXTRA DETAIL

place text here  
EXTRA DETAIL

insert pic here

insert pic here



PLACE 2" EMT ON 4X4 SUPPORT  
BOARDS

PLACE COAX HARDLINE INSIDE ATTIC CRAWL  
SPACE

PERIMETER ATTIC ACCESS

RAMBLER STYLE FLOOR  
PLAN, UP TO THREE  
FLOORS, STACKED  
WALLS

D C B

TOP VIEW ROOF

SIDE VIEW

HALLWAYS

HORSESHOE STYLE FLOOR PLAN

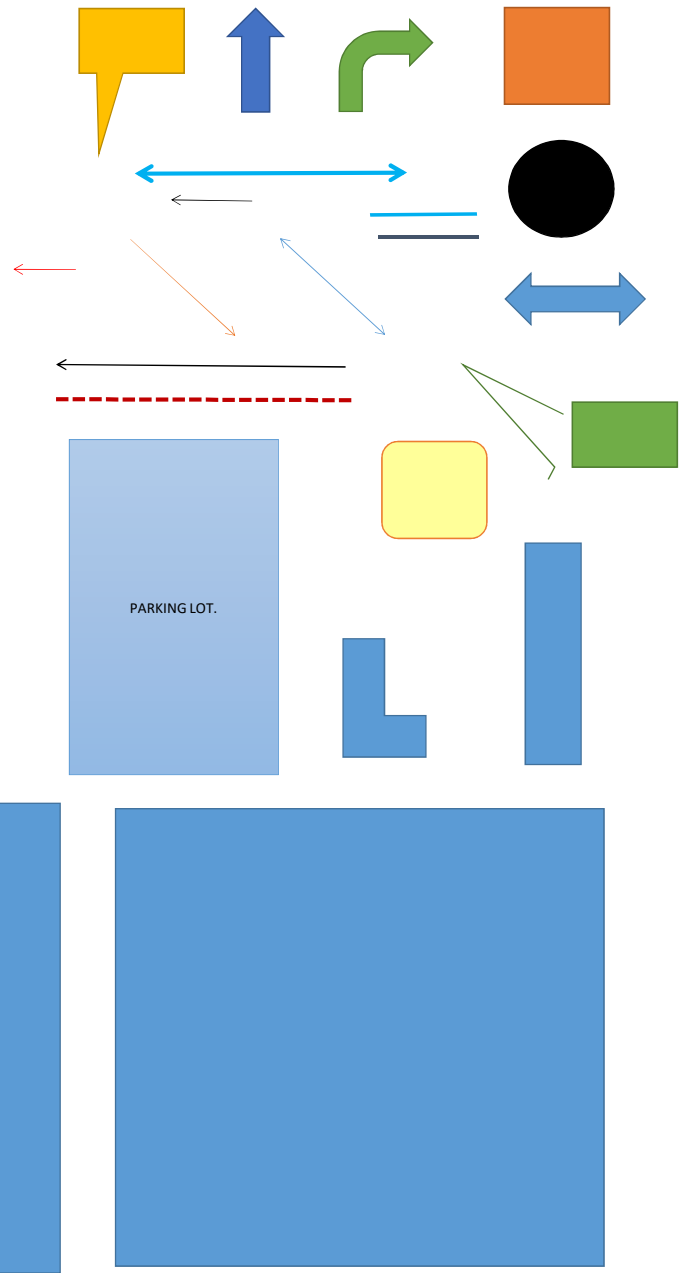
BASEMENT SUB  
PARKING

RUN MOLDING ALONG  
CEILING CORNERS

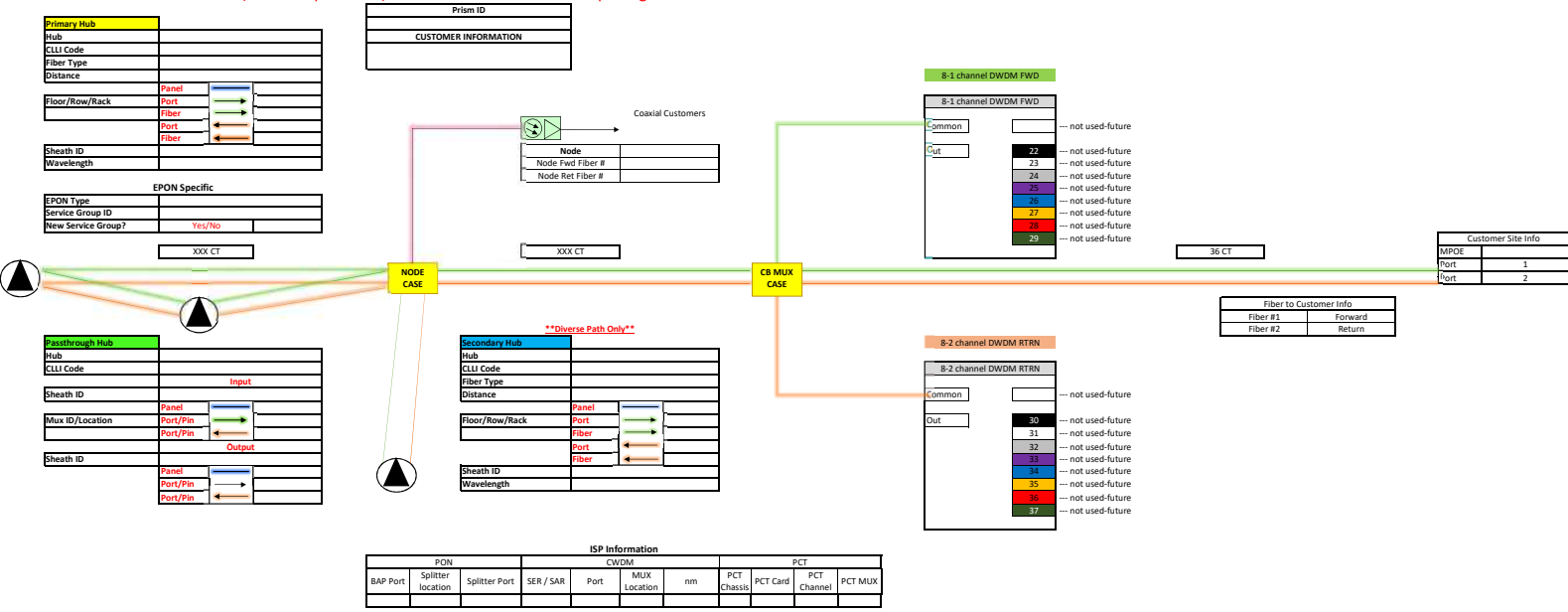
CORE DRILL DOWN FROM ROOF INTO CLOSETS

RISER BUILDING MULTI STORY

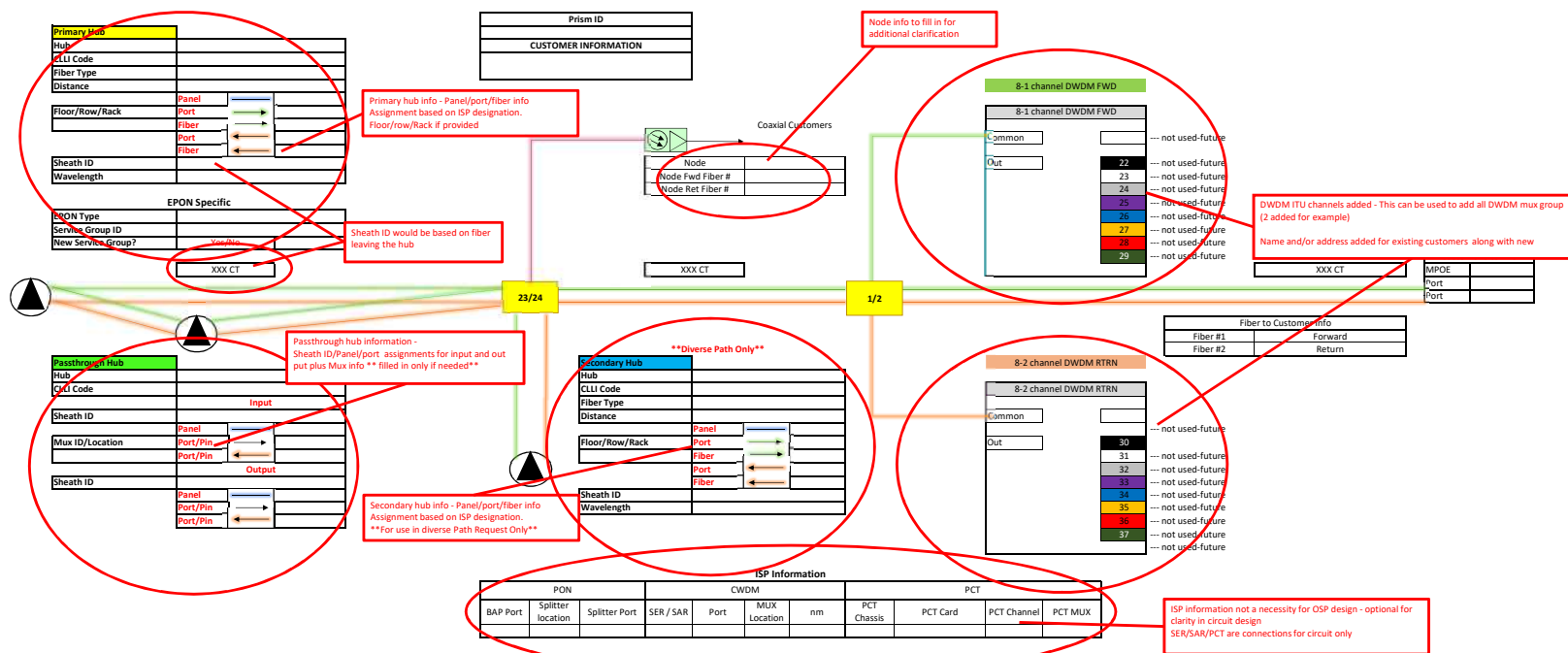
16 8 9 7



See the next tab in the workbook (FI with explanation) for more information on completing this tab.







**Name**  
8 channel CWDM FWD  
1x4 PON FWD  
8-1 channel DWDM FWD  
8-2 channel DWDM FWD

8 channel CWDM FWD		
	1310	--- not used-future
Out	1430	--- not used-future
	1450	--- not used-future
	1470	--- not used-future
	1490	--- not used-future
	1510	--- not used-future
	1570	--- not used-future
	1590	--- not used-future
	1610	--- not used-future

1x4 PON FWD		
IN	1	--- not used-future
	2	--- not used-future
	3	--- not used-future
	4	--- not used-future

8-1 channel DWDM FWD		
Common		--- not used-future
Out	22	--- not used-future
	23	--- not used-future
	24	--- not used-future
	25	--- not used-future
	26	--- not used-future
	27	--- not used-future
	28	--- not used-future
	29	--- not used-future

8-2 channel DWDM FWD		
Common		--- not used-future
Out	30	--- not used-future
	31	--- not used-future
	32	--- not used-future
	33	--- not used-future
	34	--- not used-future
	35	--- not used-future
	36	--- not used-future
	37	--- not used-future

**Name**  
8 channel CWDM RTRN  
1x4 PON RTRN  
8-1 channel DWDM RTRN  
8-2 channel DWDM RTRN

8 channel CWDM RTRN		
	1310	--- not used-future
Out	1430	--- not used-future
	1450	--- not used-future
	1470	--- not used-future
	1490	--- not used-future
	1510	--- not used-future
	1570	--- not used-future
	1590	--- not used-future
	1610	--- not used-future

1x4 PON RTRN		
IN	1	--- not used-future
	2	--- not used-future
	3	--- not used-future
	4	--- not used-future

8-1 channel DWDM RTRN		
Common		--- not used-future
Out	22	--- not used-future
	23	--- not used-future
	24	--- not used-future
	25	--- not used-future
	26	--- not used-future
	27	--- not used-future
	28	--- not used-future
	29	--- not used-future

8-2 channel DWDM RTRN		
Common		--- not used-future
Out	30	--- not used-future
	31	--- not used-future
	32	--- not used-future
	33	--- not used-future
	34	--- not used-future
	35	--- not used-future
	36	--- not used-future
	37	--- not used-future

CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

**Power Plat**  
**Detail Power Plat Map for design layout**

Insert Power Plat map

**\*Power Plat is required for all Greenfield and FTTH projects\***



CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

**Power Plat**  
**Detail Power Plat Map for design layout**

Insert Power Plat map

**\*Power Plat is required for all Greenfield and FTTH projects\***



# Master Plan

## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

### Development Master Plan

Insert Master Plan below

*\*Attach master plan for the entire development if different from power plat\**

## Mechanical Engineering Plan

### CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

#### Mechanical Engineering Plan

Insert MEP below  
\*Attach MEP if available \*

## CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

[Back to Main Tab](#)

### Corporate Approval

FTTP builds require Corporate approval. Include/attach the approval email to this tab.

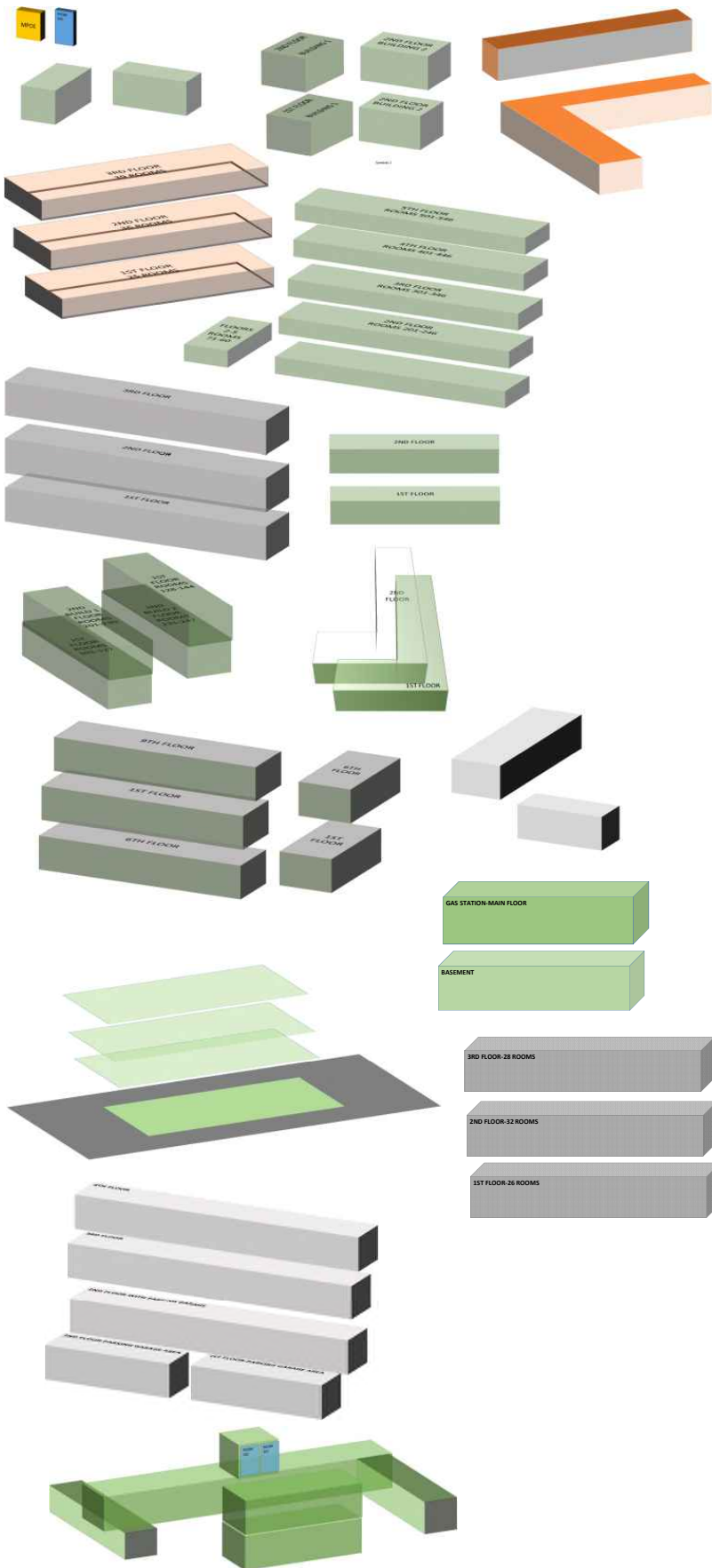
Channel	Wavelength (in nm)
1 (DWDM Channel C01)	1577.03
2 (DWDM Channel C02)	1576.2
3 (DWDM Channel C03)	1575.37
4 (DWDM Channel C04)	1574.54
5 (DWDM Channel C05)	1573.71
6 (DWDM Channel C06)	1572.89
7 (DWDM Channel C07)	1572.06
8 (DWDM Channel C08)	1571.24
9 (DWDM Channel C09)	1570.42
10 (DWDM Channel C10)	1569.59
11 (DWDM Channel C11)	1568.67
12 (DWDM Channel C12)	1567.95
13 (DWDM Channel C13)	1567.13
14 (DWDM Channel C14)	1566.31
15 (DWDM Channel C15)	1565.5
16 (DWDM Channel C16)	1564.68
17 (DWDM Channel C17)	1563.86
18 (DWDM Channel C18)	1563.05
19 (DWDM Channel C19)	1562.23
20 (DWDM Channel C20)	1561.42
21 (DWDM Channel C21)	1560.61
22 (DWDM Channel C22)	1559.79
23 (DWDM Channel C23)	1558.98
24 (DWDM Channel C24)	1558.17
25 (DWDM Channel C25)	1557.36
26 (DWDM Channel C26)	1556.55
27 (DWDM Channel C27)	1555.75
28 (DWDM Channel C28)	1554.94
29 (DWDM Channel C29)	1554.13
30 (DWDM Channel C30)	1553.33
31 (DWDM Channel C31)	1552.52
32 (DWDM Channel C32)	1551.72
33 (DWDM Channel C33)	1550.92
34 (DWDM Channel C34)	1550.12
35 (DWDM Channel C35)	1549.32
36 (DWDM Channel C36)	1548.51

Channel	Wavelength (in nm)
37 (DWDM Channel C37)	1547.72
38 (DWDM Channel C38)	1546.92
39 (DWDM Channel C39)	1546.12
40 (DWDM Channel C40)	1545.32
41 (DWDM Channel C41)	1544.53
42 (DWDM Channel C42)	1543.73
43 (DWDM Channel C43)	1542.94
44 (DWDM Channel C44)	1542.14
45 (DWDM Channel C45)	1541.35
46 (DWDM Channel C46)	1540.56
47 (DWDM Channel C47)	1539.77
48 (DWDM Channel C48)	1538.98
49 (DWDM Channel C49)	1538.19
50 (DWDM Channel C50)	1537.4
51 (DWDM Channel C51)	1536.61
52 (DWDM Channel C52)	1535.82
53 (DWDM Channel C53)	1535.04
54 (DWDM Channel C54)	1534.25
55 (DWDM Channel C55)	1533.47
56 (DWDM Channel C56)	1532.68
57 (DWDM Channel C57)	1531.9
58 (DWDM Channel C58)	1531.12
59 (DWDM Channel C59)	1530.33
60 (DWDM Channel C60)	1529.55
61 (DWDM Channel C61)	1528.77
62 (DWDM Channel C62)	1527.99
63 (DWDM Channel C63)	1527.22
64 (DWDM Channel C64)	1526.44
65 (DWDM Channel C65)	1525.66
66 (DWDM Channel C66)	1524.89
67 (DWDM Channel C67)	1524.11
68 (DWDM Channel C68)	1523.34
69 (DWDM Channel C69)	1522.56
70 (DWDM Channel C70)	1521.79
71 (DWDM Channel C71)	1521.02
72 (DWDM Channel C72)	1520.25



# CHARTER COMMUNICATIONS CONSTRUCTION SURVEY





81-11 134th Street

## **Standard MDU Coax Build**

The standard MDU build will include the following:

- **Outside Plant HFC infrastructure**
  - Spectrum's Hybrid Fiber/Coax (HFC) distribution network that provides service to our customers
  - This network is typically in the public right of way and not part of the building infrastructure
    - Construction methods to create complete connectivity
      - Aerial building attachment
      - Exterior cable routing & placement
      - Underground trench, conduit installation, cable placement
      - Sidewalk remove & replace, and trench
      - Service vault installation
- **Take off Point**
  - The location in our HFC network where service to the target building will originate
  - This take off point is typically in the in the public right of way
    - Spectrum will make every attempt to create the most effective pathway available, with consideration to our existing takeoff point
    - The type of existing infrastructure pathways available
      - Aerial, underground, or a combination of both
      - Pole licenses, permits, etc., as needed, City, State, Dept of Buildings, etc.
- **Point of Entry (POE)**
  - The point on the target building where our outside infrastructure enters the building
  - This can be aerial or underground, depending on the existing infrastructure in place
    - Spectrum will make every attempt determine the most effective point of entry considering
      - Our Take Off point
      - The type of existing infrastructure pathways available, Aerial, or Underground
      - Pole licenses, permits, etc., as needed, City, State, Dept of Buildings, etc.
- **POE to Distribution Point Pathway**
  - The distribution center for the building is usually in the basement or lower levels
  - Spectrum will need a pathway from the Point of Entry to the MDF.
    - This may be installed in EMT pipe as required per building specifications
    - Establish (1) 4" conduit from POE in to building in basement level to MDF
    - Location should approved by property management
- **Main Distribution Frame (MDF) room**
  - The Main Distribution location serves as the point in the building where Spectrum will initiate its service to all units in the building, usually located in the basement or lower levels. This is sometimes called the Telco room.
    - Location should approved by property management
    - Establish a 4' x 4' x ¾" fire rated plywood panel in the area designated for spectrum equipment
    - Install EMT conduits for risers, if needed as per building code
    - Install Power Supply, if needed, which will be connected directly to ConEd source
      - Appropriate permits and case #s will be filed by Spectrum
      - Installation location to be approved by property management
    - Install Spectrum equipment including:
      - HFC nodes
      - Splice closures
      - Distribution amps and taps
      - Distribution cables

- Vertical Riser
  - The vertical coax feeder cable infrastructure that will connect the equipment in the MDF room to the equipment in all IDF rooms for service to all service drops
  - This riser is typically in the IDF room
  - Depending on building code, the riser may need to be installed in EMT
- Intermediate Distribution Frame (IDF) room
  - The distribution center for each floor of the building, typically an electrical or storage closet.
  - The service drop cable from each unit terminate at these locations, and are the point of service for activation
  - Install Spectrum equipment including:
    - Lock boxes
    - Service taps
    - Coax amplifiers
    - Splice closures
    - Drop cable from each unit terminate at these locations
- Service drops
  - The drop cable as per current Spectrum specifications
  - To be installed from the IDF into each unit or apartment
  - This cable will connect the customer facing equipment to the service taps in the IDF room
  - All drop cabling installation must meet all building codes
  - Depending on the type of build, the service drops may be installed in the following manner:
    - Existing pathways, such as conduit, or open walls during new construction or renovation
    - Hallway interior molding
    - Outside wall wiring
    - Drop ceiling (may require plenum rated cabling)
    - Open raceways or other pathways will be explored as options for service drops
    - If wiring is requested to be installed in drop ceilings, Spectrum must use Plenum wiring as per building code
    - Any breaking open of walls to run cables to apartments will be restored to original condition prior to the work starting
    - *Notes:*
      - *Entry into each unit is required*
      - *The routing of these cables may require drilling in hallways, interior, and exterior walls to create a complete pathway*
- Building Survey Requirements
  - A full survey is required to determine the best way to provide service
    - The survey will define the following required information:
      - The actual number of service locations:
        - Number of floors building
        - Individual apartments per floor
        - Commercial units per floor
        - Special requests (office locations, common areas, etc.)
      - Entry points
      - Risers / IDF locations
      - Pathways
      - Equipment locations
      - Special circumstances required or building code issues

378 West End Avenue

## **Standard MDU Coax Build**

The standard MDU build will include the following:

- **Outside Plant HFC infrastructure**
  - Spectrum's Hybrid Fiber/Coax (HFC) distribution network that provides service to our customers
  - This network is typically in the public right of way and not part of the building infrastructure
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    - Location should approved by property management
    - Establish a 4' x 4' x ¾" fire rated plywood panel in the area designated for spectrum equipment
    - Install EMT conduits for risers, if needed as per building code
    - Install Power Supply, if needed, which will be connected directly to ConEd source
      - Appropriate permits and case #s will be filed by Spectrum
      - Installation location to be approved by property management
    - Install Spectrum equipment including:
      - HFC nodes
      - Splice closures
      - Distribution amps and taps
      - Distribution cables

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  - The vertical coax feeder cable infrastructure that will connect the equipment in the MDF room to the equipment in all IDF rooms for service to all service drops
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  - The distribution center for each floor of the building, typically an electrical or storage closet.
  - The service drop cable from each unit terminate at these locations, and are the point of service for activation
  - Install Spectrum equipment including:
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    - Drop cable from each unit terminate at these locations
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      - Entry points
      - Risers / IDF locations
      - Pathways
      - Equipment locations
      - Special circumstances required or building code issues



435 Central Park West

CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

435 CENTRAL PARK WEST

National\*

RISER SOW

NODE GD52 - GD52

MOLDING/HOMERUNS

CORE DRILL FROM LOBBY FLR UP 6TH FLR & INSTALL ENT CONDUIT & TAPS IN LOCK BOXES ALL FLOORS

RISER LOCATION JANITOR'S CLOSET		FLOOR	APT. SEQ.	TAP OUT
		ROOF		
		6TH FL	4-F-A-U	HALLWAY MOLDING
		5TH FL	4-F-A-U	HALLWAY MOLDING
		4TH FL	4-F-A-U	HALLWAY MOLDING
		3RD FL	4-F-A-U	HALLWAY MOLDING
		2ND FL	4-F-A-U	HALLWAY MOLDING
		1ST FL	4-F-A-U	HALLWAY MOLDING
		LOBBY	5000X	HALLWAY MOLDING

ADDRESS: 435 CENTRAL PARK W      UNITS: 120      BLOCK#      Bldg#2 RESIDN

100'

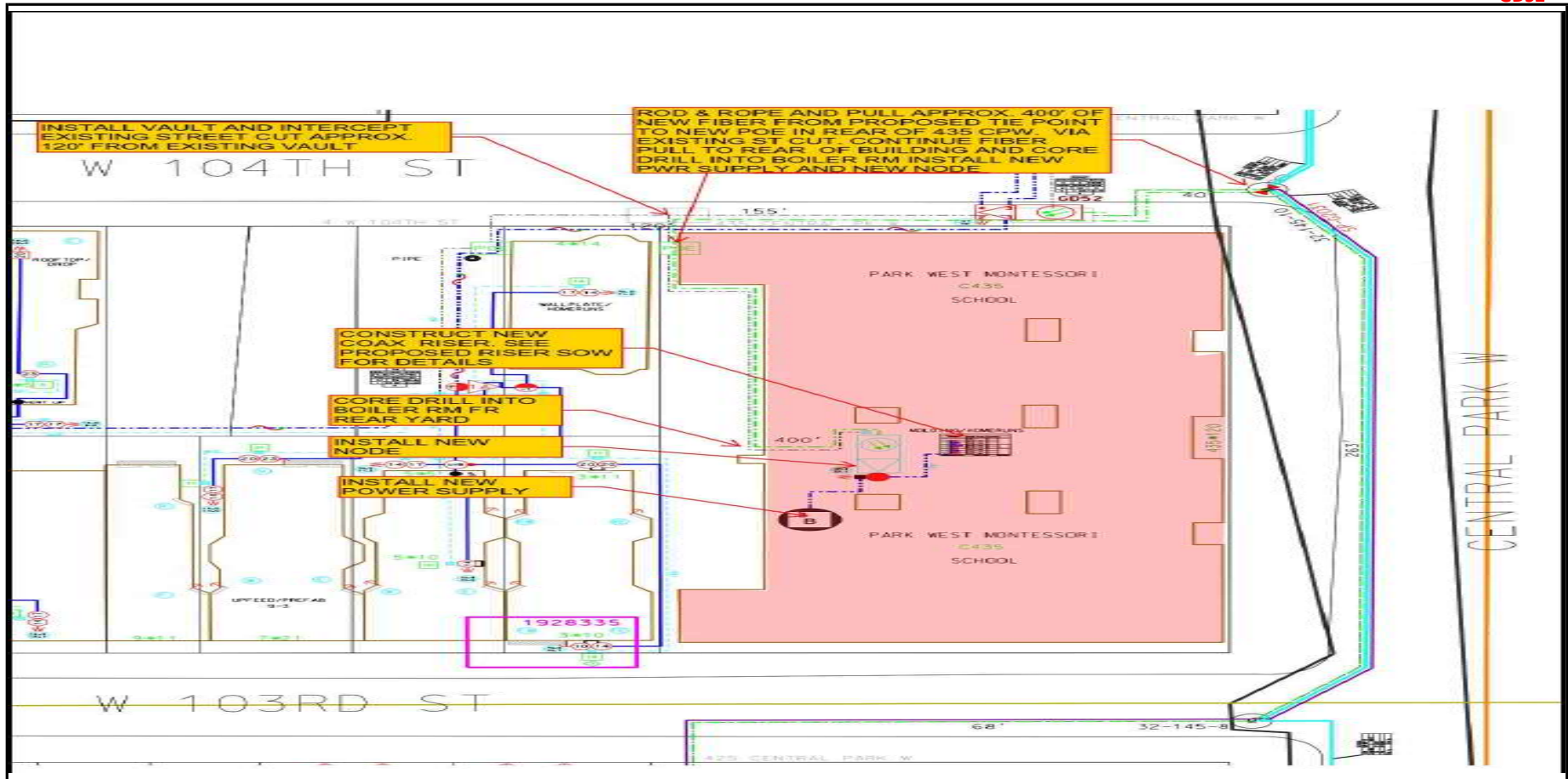
# CHARTER COMMUNICATIONS CONSTRUCTION SURVEY

## 435 CENTRAL PARK WEST

National\*

BLOCK SOW

NODE GD52 -  
GD52



302 E 96th Street

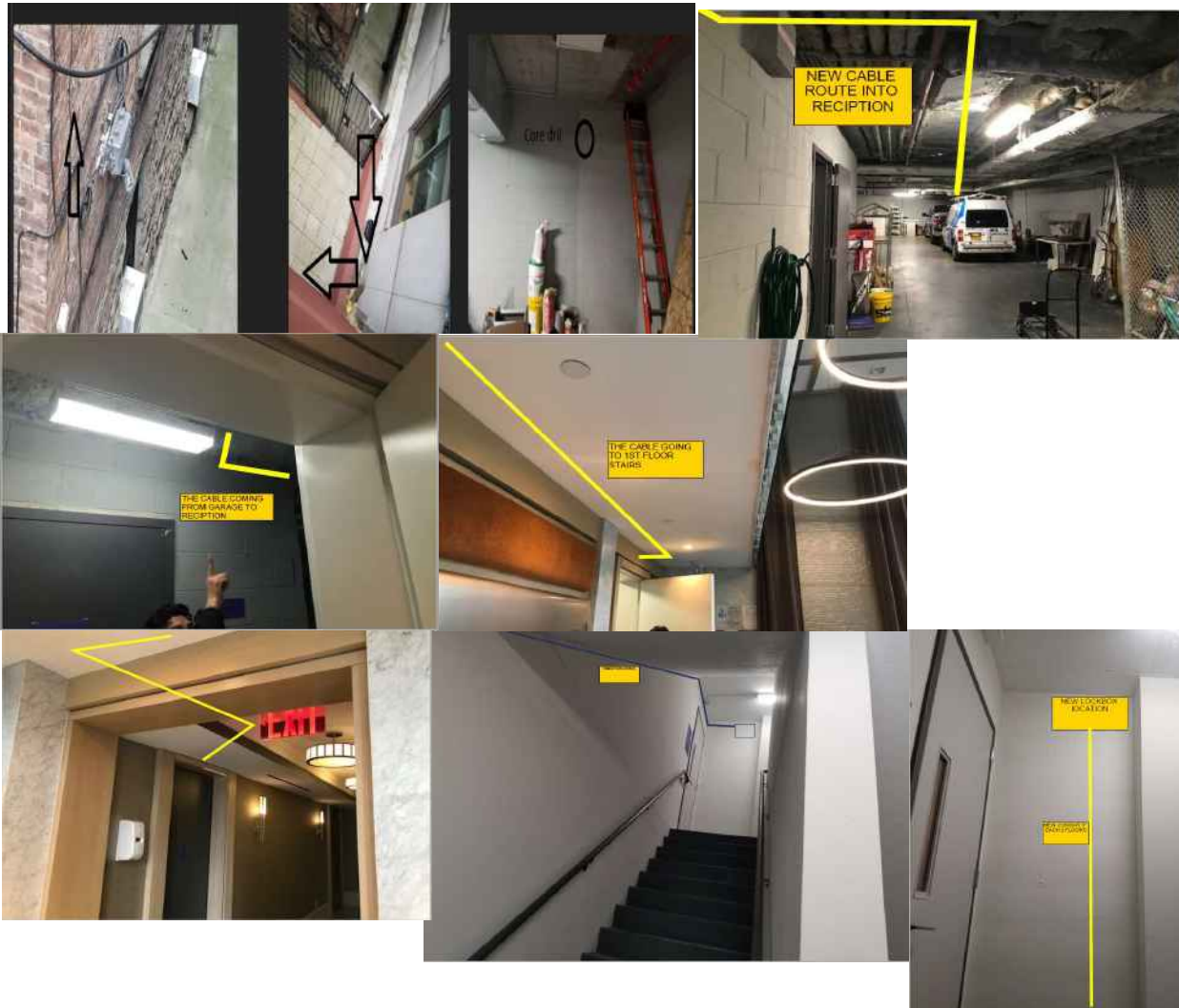
PreWire 48 unit with Hybrid RG6/microduct cable

Run 500 from the Amp located in the rear of 302 E 96th St going into garage. Continue into lobby to the 1st floor stairs where a lockbox will be installed every 2nd floor with new conduit 3" and molding between floors feeding each unit with a small sheetrock cut.

Field Map 2







29-19 Newtown Avenue





120 East 23<sup>rd</sup> Street  
New York, NY 10010

**SURVEY DEPARTMENT  
NEW RESIDENTIAL CONSTRUCTION**

---

PRISM ID #: 1984894	UNITS: 44 UNITS (RESIDENTIAL)	BLOCK:
DATE ISSUED: 4/9/2020	UNKNOWN (COMMERCIAL)	
FLOORS: 8 FLOORS		
ADDRESS: 2919 NEWTOWN AVENUE ASTORIA, NY 11102		
WORK ORDER SURVEYED BY: WAYNE CARRINGTON		
SURVEY DATE: 4/9/2020		
POC: ALMO GROUP (718) 728-4566	Email:	Title:

**THIS DOCUMENT IS FOR BUILDING APPROVAL ONLY**

**CHARTER/SPECTRUM CABLE OF NEW YORK CITY SHALL DO THE FOLLOWING:**

- A. PULL COAX RISER
- B. COMPLETE FINAL HOOK-UPS IN APARTMENTS
- C. COMPLETE FINAL HOOK UP AT ALL AMPLIFIERS AND RISERS
- D. COMPLETE FINAL CONNECTION AT POINT OF SERVICE TO BUILDING.  
(DO ALL OUTSIDE WORK)
- E. PROVIDE ALL CABLE
- F. PULL CABLE FROM DESIGNATED LOCATION (FROM POE INTO MAIN TELECOM ROOM)
- G. PULL (1) FIRE RATED CABLE FROM THE DESIGNATED GROUND FLOOR RISER LOCATIONS UP TO THE  
LAST TELECOM CLOSET ON THE 8<sup>TH</sup> FLOOR IN A 4-INCH EMT CONDUIT.
- H. INSTALL ALL EQUIPMENT IN EACH TELECOM CLOSET

=====

COMMENTS:

=====

**CHARTER/SPECTRUM CABLE MARKETING AND DEVELOPMENT**

APPROVED BY:  
PRINT NAME:  
PRINT TITLE:

DATE:

**SURVEY DEPARTMENT  
NEW RESIDENTIAL CONSTRUCTION**

---

**WORK TO BE PERFORMED BY DEVELOPER'S CONTRACTOR**

1. Provide (1) 4' x 4' x 3/4" fire rated plywood panel in the main telecom room designated for Charter passive/active equipment.
2. Supply 110 VAC 20 Amp circuit to power Charter Equipment.
3. Provide (1) 4'x4'x 3/4" fire rated plywood panel for CATV equipment in each of the telecom closets that will have equipment at riser.
4. Supply 110 VAC outlet in each of the telecom closets to power Charter Equipment.

**Apartment Wiring:**

1. Mount NID Boxes and blank wall plates at all CATV outlet locations.
2. Pull cables from the NID Box throughout each apartment to each wall plate outlet.
3. Tag and identify all Charter/Spectrum Cable Lines.
4. Provide 110 VAC outlet in each NID to power Charter Equipment

**WORK TO BE PERFORMED BY SPECTRUM**

**Point of Entry ("P.O.E"):**

1. Provide (1) core to accommodate (1) 4-inch conduit. The P.O.E for Charter CATV service will be located on the side of building.

**Riser:**

1. Provide (1) 4" EMT conduit from the main telecom room up to the top floor of the telecom closets with breaks in floors (1, 2, 3, 4, 5, 6, 7 and 8). On Floors that we will install equipment.
2. Provide coax cable, to each apartment from designated telecom closet on each floor.

171-04 Baisley Boulevard



120 East 23<sup>rd</sup> Street  
New York, NY 10010

**SURVEY DEPARTMENT  
NEW RESIDENTIAL CONSTRUCTION**

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PRISM ID #: 1441666	UNITS: 85 UNITS (RESIDENTIAL)	BLOCK:
DATE ISSUED: 5/17/2019	UNKNOWN (COMMERCIAL)	
FLOORS: 8 FLOORS		
ADDRESS: 17104 BAISLEY BOULEVARD JAMAICA, NY 11434		
WORK ORDER SURVEYED BY: TARCISIO GIL		
SURVEY DATE: 5/17/2019		
POC: KATRINA BROWN (516) 437-0900	Email:	Title: PROPERTY MANAGER

**THIS DOCUMENT IS FOR BUILDING APPROVAL ONLY**

**CHARTER/SPECTRUM CABLE OF NEW YORK CITY SHALL DO THE FOLLOWING:**

- A. PULL COAX RISER
- B. COMPLETE FINAL HOOK-UPS IN APARTMENTS
- C. COMPLETE FINAL HOOK UP AT ALL AMPLIFIERS AND RISERS
- D. COMPLETE FINAL CONNECTION AT POINT OF SERVICE TO BUILDING.  
(DO ALL OUTSIDE WORK)
- E. PROVIDE ALL CABLE
- F. PULL CABLE FROM DESIGNATED LOCATION (FROM POE INTO MAIN TELECOM ROOM)
- G. PULL (1) FIRE RATED CABLE FROM THE DESIGNATED GROUND FLOOR RISER LOCATIONS UP TO THE  
LAST TELECOM CLOSET ON THE 8<sup>TH</sup> FLOOR IN A 4-INCH EMT CONDUIT.
- H. INSTALL ALL EQUIPMENT IN EACH TELECOM CLOSET

=====

COMMENTS:

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**CHARTER/SPECTRUM CABLE MARKETING AND DEVELOPMENT**

APPROVED BY:  
PRINT NAME:  
PRINT TITLE:

DATE:

**SURVEY DEPARTMENT  
NEW RESIDENTIAL CONSTRUCTION**

---

**WORK TO BE PERFORMED BY DEVELOPER'S CONTRACTOR**

1. Provide (1) 4' x 4' x 3/4" fire rated plywood panel in the main telecom room designated for Charter passive/active equipment.
2. Supply 110 VAC 20 Amp circuit to power Charter Equipment.
3. Provide (1) 4'x4'x 3/4" fire rated plywood panel for CATV equipment in each of the telecom closets that will have equipment at riser.
4. Supply 110 VAC outlet in each of the telecom closets to power Charter Equipment.
5. Provide coax cable, to each apartment from designated telecom closet on each floor.
6. Existing Point Of Entry located on Basement Floor.

**Apartment Wiring:**

1. Mount NID Boxes and blank wall plates at all CATV outlet locations.
2. Pull cables from the NID Box throughout each apartment to each wall plate outlet.
3. Tag and identify all Charter/Spectrum Cable Lines.
4. Provide 110 VAC outlet in each NID to power Charter Equipment

**WORK TO BE PERFORMED BY SPECTRUM**

**Riser:**

1. Provide (1) 4" EMT conduit from the main telecom room up to the top floor of the telecom closets with breaks in floors (1, 2, 3, 4, 5, 6, 7 and 8). On Floors that we will install equipment.

126-30 Locust Manor



120 East 23<sup>rd</sup> Street  
New York, NY 10010

**SURVEY DEPARTMENT  
NEW RESIDENTIAL CONSTRUCTION**

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PRISM ID #: 1994933                      UNITS: (RESIDENTIAL)                      BLOCK:  
DATE ISSUED: 03/02/2020 Click or tap here to enter text.                      UNKNOWN (COMMERCIAL)  
FLOORS 14- 84 units  
ADDRESS: 126-30 Locust Manor Lane  
WORK ORDER SURVEYED BY: Bruce Carberry  
SURVEY DATE: 03/23/2020  
POC: Beverly Daniels                      516-437-0900 ex 172 Title: Manager

**THIS DOCUMENT IS FOR BUILDING APPROVAL ONLY**

**CHARTER/SPECTRUM CABLE OF NEW YORK CITY SHALL DO THE FOLLOWING:**

- A. PULL COAX RISER to and through building rising up from basement following a common utility closet on each floor up to the 14 floor and terminating on the 14 floor in a lockbox.
- B. COMPLETE FINAL HOOK UP AT ALL AMPLIFIERS AND RISERS
- C. COMPLETE FINAL CONNECTION AT POINT OF SERVICE TO BUILDING.  
(DO ALL OUTSIDE WORK)
- D. PULL CABLE FROM THE DESIGNATED LOCATION INTO THE P.O.E OF (on the back side by the RR tracks into basement stairwell)
- E. PULL (1) Coax 500 FROM THE DESIGNATED GROUND FLOOR RISER LOCATIONS UP TO THE LAST Floor (8<sup>th</sup>) putting an 8 port tap in lockbox over existing post wires that are already ran
- F. INSTALL ALL EQUIPMENT IN EACH utility CLOSET ON THE 4'4' x 3/4' FIRE RATED PLYWOOD PANELS THAT WE WILL SUPPLY.

Building feed will come from pole on Baisley and run U/g to 169-30 Baisley Then rise up on the North West corner of 169-30 Baisley and block wire under the lip to the back of the building approx. 100 feet. Then drop down into a 2 inch conduit that contractor will mount to retaining wall and will run 100 feet to north west corner of Venue building. Then we will trench the last 60 feet to building 12602 locust manor. Then we will block wire the last 15 feet up and over the stairwell that goes into the basement and drill our POE into the sups office which has been agreed on by building manager.

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COMMENTS:  
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**CHARTER/SPECTRUM CABLE MARKETING AND DEVELOPMENT**



APPROVED BY:

DATE:

PRINT NAME:

PRINT TITLE:

120 East 23<sup>rd</sup> Street  
New York, NY 10010

**SURVEY DEPARTMENT  
NEW RESIDENTIAL CONSTRUCTION**

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**WORK TO BE PERFORMED BY DEVELOPER'S CONTRACTOR**

1. **Provide post wires into each apartment and originate in each utility room where we are running our riser up to each floor.**

**Apartment Wiring:**

Owners of building responsible for all post wires ran to each apartment and other areas for service. If there are any problems with existing post wires Charter is not responsible.

**WORK TO BE PERFORMED BY SPECTRUM**

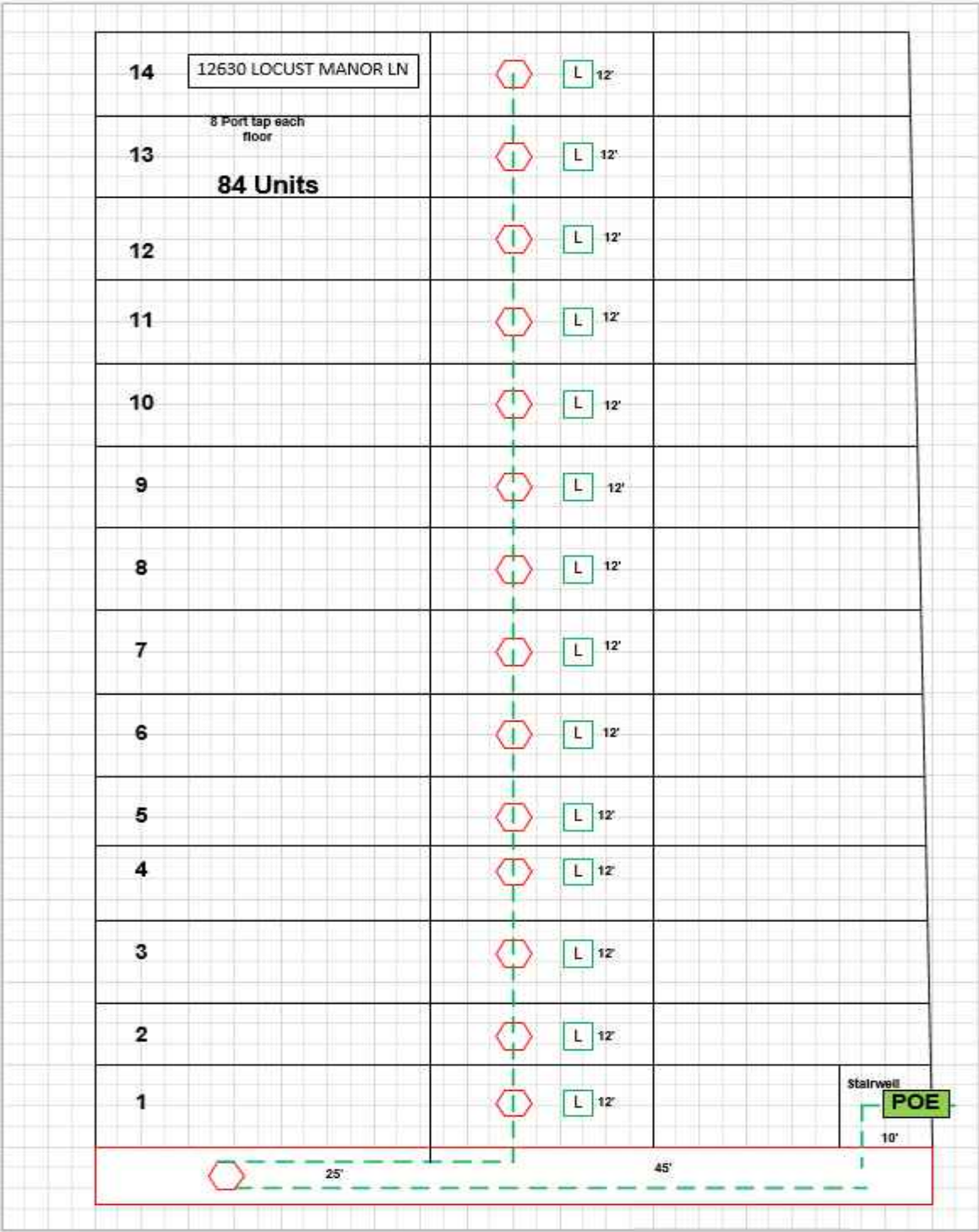
**Point of Entry ("P.O.E"):**

1. **Provide (1) core to accommodate (1) 4-inch conduit through the P.O.E. In rear at stairwell to basement. We will provide one tap in basement in server room as shown on Riser diagram**

**Riser:**

1. **Provide (1) 4" EMT conduit from the main telecom room up to the top floor of the utility closets**
2. **Building owner's responsible for all post wires that run from each utility room which were ran when the building was built. Charter is not responsible for any bad post wires ran at time of construction.**







127-10 Locust Manor



120 East 23<sup>rd</sup> Street  
New York, NY 10010

**SURVEY DEPARTMENT  
NEW RESIDENTIAL CONSTRUCTION**

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**PRISM ID #:** 1995001                      **UNITS:** (RESIDENTIAL)                      **BLOCK:**  
**DATE ISSUED:** 03/02/2020 Click or tap here to enter text.                      **UNKNOWN (COMMERCIAL)**  
**FLOORS** 14- 84 units  
**ADDRESS:** 127-10 Locust Manor Lane  
**WORK ORDER SURVEYED BY:** Bruce Carberry  
**SURVEY DATE:** 03/25/2020  
**POC:** Beverly Daniels                      516-437-0900 ex 172 Title: Manager

**THIS DOCUMENT IS FOR BUILDING APPROVAL ONLY**

**CHARTER/SPECTRUM CABLE OF NEW YORK CITY SHALL DO THE FOLLOWING:**

- A. PULL COAX RISER to and through building rising up from basement following a common utility closet on each floor up to the 14 floor and terminating on the 14 floor in a lockbox.
- B. COMPLETE FINAL HOOK UP AT ALL AMPLIFIERS AND RISERS
- C. COMPLETE FINAL CONNECTION AT POINT OF SERVICE TO BUILDING.  
(DO ALL OUTSIDE WORK)
- D. PULL CABLE FROM THE DESIGNATED LOCATION INTO THE P.O.E OF (In the parking garage fed from 126-30 at basement level)
- E. PULL (1) Coax 500 FROM THE DESIGNATED GROUND FLOOR RISER LOCATIONS UP TO THE LAST Floor (8<sup>th</sup>) putting an 8 port tap in lockbox over existing post wires that are already ran
- F. INSTALL ALL EQUIPMENT IN EACH utility CLOSET ON THE 4'4' x 3/4' FIRE RATED PLYWOOD PANELS THAT WE WILL SUPPLY.

Building feed will come from 8 port tap location in basement of building 126-30 and feed out of the basement through the parking garage and into 127-10 POE at parking garage on south side a total of 300 feet. Then rise up in basement of 127-10 which location is still to be determined but within 75 feet of POE.

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COMMENTS:  
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**CHARTER/SPECTRUM CABLE MARKETING AND DEVELOPMENT**

**APPROVED BY:**  
**PRINT NAME:**

**DATE:**

PRINT TITLE:

120 East 23<sup>rd</sup> Street  
New York, NY 10010

**SURVEY DEPARTMENT  
NEW RESIDENTIAL CONSTRUCTION**

---

**WORK TO BE PERFORMED BY DEVELOPER'S CONTRACTOR**

1. **Provide post wires into each apartment and originate in each utility room where we are running our riser up to each floor.**

**Apartment Wiring:**

Owners of building responsible for all post wires ran to each apartment and other areas for service. If there are any problems with existing post wires Charter is not responsible.

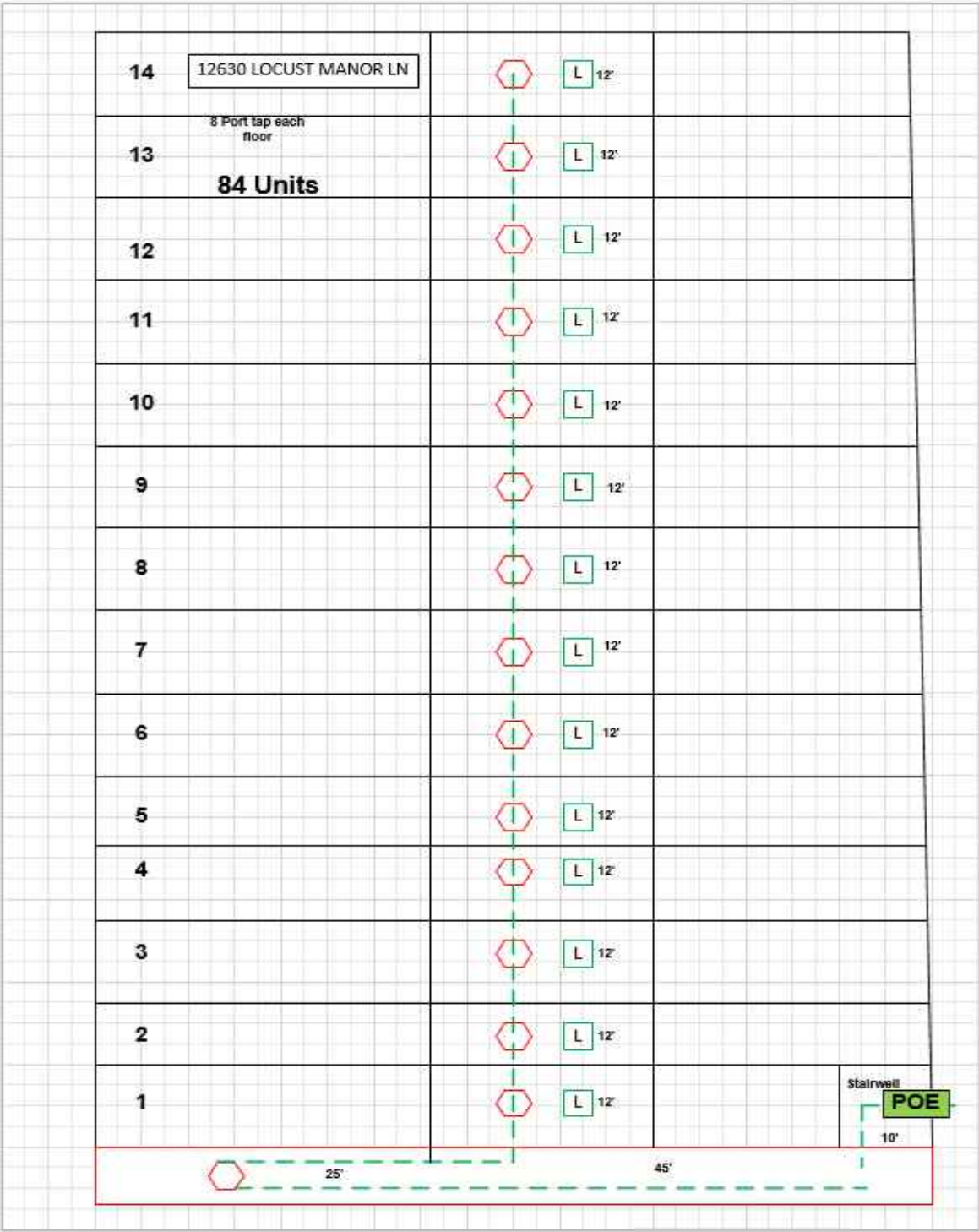
**WORK TO BE PERFORMED BY SPECTRUM**

**Point of Entry ("P.O.E"):**

1. Provide (1) core to accommodate (1) 4-inch conduit through the P.O.E. In rear at stairwell to basement. We will provide one tap in basement in server room as shown on Riser diagram

**Riser:**

1. Provide (1) 4" EMT conduit from the main telecom room up to the top floor of the utility closets
2. Building owner's responsible for all post wires that run from each utility room which were ran when the building was built. Charter is not responsible for any bad post wires ran at time of construction.







126-02 Locust Manor



## **Standard MDU Coax Build**

The standard MDU build will include the following:

- **Outside Plant HFC infrastructure**
  - Spectrum's Hybrid Fiber/Coax (HFC) distribution network that provides service to our customers
  - This network is typically in the public right of way and not part of the building infrastructure
    - Construction methods to create complete connectivity
      - Aerial building attachment
      - Exterior cable routing & placement
      - Underground trench, conduit installation, cable placement
      - Sidewalk remove & replace, and trench
      - Service vault installation
- **Take off Point**
  - The location in our HFC network where service to the target building will originate
  - This take off point is typically in the in the public right of way
    - Spectrum will make every attempt to create the most effective pathway available, with consideration to our existing takeoff point
    - The type of existing infrastructure pathways available
      - Aerial, underground, or a combination of both
      - Pole licenses, permits, etc., as needed, City, State, Dept of Buildings, etc.
- **Point of Entry (POE)**
  - The point on the target building where our outside infrastructure enters the building
  - This can be aerial or underground, depending on the existing infrastructure in place
    - Spectrum will make every attempt determine the most effective point of entry considering
      - Our Take Off point
      - The type of existing infrastructure pathways available, Aerial, or Underground
      - Pole licenses, permits, etc., as needed, City, State, Dept of Buildings, etc.
- **POE to Distribution Point Pathway**
  - The distribution center for the building is usually in the basement or lower levels
  - Spectrum will need a pathway from the Point of Entry to the MDF.
    - This may be installed in EMT pipe as required per building specifications
    - Establish (1) 4" conduit from POE in to building in basement level to MDF
    - Location should approved by property management
- **Main Distribution Frame (MDF) room**
  - The Main Distribution location serves as the point in the building where Spectrum will initiate its service to all units in the building, usually located in the basement or lower levels. This is sometimes called the Telco room.
    - Location should approved by property management
    - Establish a 4' x 4' x ¾" fire rated plywood panel in the area designated for spectrum equipment
    - Install EMT conduits for risers, if needed as per building code
    - Install Power Supply, if needed, which will be connected directly to ConEd source
      - Appropriate permits and case #s will be filed by Spectrum
      - Installation location to be approved by property management
    - Install Spectrum equipment including:
      - HFC nodes
      - Splice closures
      - Distribution amps and taps
      - Distribution cables

- Vertical Riser
  - The vertical coax feeder cable infrastructure that will connect the equipment in the MDF room to the equipment in all IDF rooms for service to all service drops
  - This riser is typically in the IDF room
  - Depending on building code, the riser may need to be installed in EMT
- Intermediate Distribution Frame (IDF) room
  - The distribution center for each floor of the building, typically an electrical or storage closet.
  - The service drop cable from each unit terminate at these locations, and are the point of service for activation
  - Install Spectrum equipment including:
    - Lock boxes
    - Service taps
    - Coax amplifiers
    - Splice closures
    - Drop cable from each unit terminate at these locations
- Service drops
  - The drop cable as per current Spectrum specifications
  - To be installed from the IDF into each unit or apartment
  - This cable will connect the customer facing equipment to the service taps in the IDF room
  - All drop cabling installation must meet all building codes
  - Depending on the type of build, the service drops may be installed in the following manner:
    - Existing pathways, such as conduit, or open walls during new construction or renovation
    - Hallway interior molding
    - Outside wall wiring
    - Drop ceiling (may require plenum rated cabling)
    - Open raceways or other pathways will be explored as options for service drops
    - If wiring is requested to be installed in drop ceilings, Spectrum must use Plenum wiring as per building code
    - Any breaking open of walls to run cables to apartments will be restored to original condition prior to the work starting
    - *Notes:*
      - *Entry into each unit is required*
      - *The routing of these cables may require drilling in hallways, interior, and exterior walls to create a complete pathway*
- Building Survey Requirements
  - A full survey is required to determine the best way to provide service
    - The survey will define the following required information:
      - The actual number of service locations:
        - Number of floors building
        - Individual apartments per floor
        - Commercial units per floor
        - Special requests (office locations, common areas, etc.)
      - Entry points
      - Risers / IDF locations
      - Pathways
      - Equipment locations
      - Special circumstances required or building code issues

241 Atlantic Avenue



120 East 23<sup>rd</sup> Street  
New York, NY 10010

**SURVEY DEPARTMENT  
NEW RESIDENTIAL CONSTRUCTION**

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PRISM ID #: 1991646                      UNITS: 75 UNITS (RESIDENTIAL)                      BLOCK:  
DATE ISSUED: 10/16/2020                      UNKNOWN (COMMERCIAL)  
FLOORS: 10 FLOORS  
ADDRESS: 241 ATLANTIC AVENUE BROOKLYN, NY 11201  
WORK ORDER SURVEYED BY: WILL BIXENMAN  
SURVEY DATE: 10/16/2020  
POC: JOSH POSNER (646) 387-1750                      Email:                      Title: PROJECT MANAGER  
ARDIAN (917) 733-0461

**THIS DOCUMENT IS FOR BUILDING APPROVAL ONLY**

**CHARTER/SPECTRUM CABLE OF NEW YORK CITY SHALL DO THE FOLLOWING:**

- A. PULL FIBER RISER
- B. COMPLETE FINAL HOOK-UPS IN APARTMENTS
- C. COMPLETE FINAL HOOK UP AT ALL RISERS
- D. COMPLETE FINAL CONNECTION AT POINT OF SERVICE TO BUILDING.  
(DO ALL OUTSIDE WORK)
- E. PROVIDE ALL CABLE
- F. PULL CABLE FROM THE DESIGNATED LOCATION INTO THE P.O.E OF CELLAR FLOOR OF BUILDING.
- G. PULL (1) FIRE RATED FIBER FROM THE DESIGNATED GROUND FLOOR RISER LOCATIONS UP TO THE  
LAST TELECOM CLOSET(S) ON 10<sup>TH</sup> FLOOR IN 4-INCH EMT PIPE PROVIDED BY THE BUILDER.
- H. INSTALL ALL EQUIPMENT IN EACH TELECOM CLOSET ON THE 4'4'x 3/4' FIRE RATED PLYWOOD  
PANELS THAT THE BUILDING WILL SUPPLY.

=====

COMMENTS:

=====

**CHARTER/SPECTRUM CABLE MARKETING AND DEVELOPMENT**

APPROVED BY:  
PRINT NAME:  
PRINT TITLE:

DATE:

**SURVEY DEPARTMENT  
NEW RESIDENTIAL CONSTRUCTION**

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**WORK TO BE PERFORMED BY DEVELOPER'S CONTRACTOR**

**Point of Entry ("P.O.E"):**

The P.O.E for Charter CATV service will be located at cellar floor of Building.

1. Provide (1) 4' x 4' x 3/4" fire rated plywood panel in the main telecom room designated for Charter passive/active equipment.
2. Supply 110 VAC 20 Amp circuit to power Charter Equipment Riser
3. Provide (1) 4'x4'x 3/4" fire rated plywood panel for CATV equipment in each of the telecom closets that will have equipment up the riser.
4. Supply 110 VAC outlet in each of the telecom closets to power Charter Equipment

**Apartment Wiring:**

1. Mount NID Boxes and blank wall plates at all CATV outlet locations.
2. Pull cables from the NID Box throughout each apartment to each wall plate outlet.
3. Tag and identify all Charter/Spectrum Cable Lines.
4. Provide 110 VAC outlet in each NID to power Charter Equipment

**WORK TO BE PERFORMED BY SPECTRUM**

**Point of Entry ("P.O.E"):**

1. Provide (1) core to accommodate (1) 4-inch conduit through the P.O.E.

**Riser:**

1. Provide (1) 4" EMT conduit from the main telecom room up to the top floor of the telecom closets with breaks in floors (1, 2, 3,4,5,6,7,8,9, and 10). On floors that we will install equipment.



2. Pull (1) Hybrid cable, to each apartment from designated telecom closet; **(home run cables cannot exceed 150ft. (NO EXCEPTIONS))**

210 Wallabout Street



120 East 23<sup>rd</sup> Street  
New York, NY 10010

SURVEY DEPARTMENT  
NEW RESIDENTIAL CONSTRUCTION

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Prism ID #2065584                      UNITS: 31 (RESIDENTIAL)                      BLOCK:  
DATE ISSUED: 03/31/2020 Click or tap here to enter text.                      UNKNOWN (COMMERCIAL):  
FLOORS: 7  
ADDRESS: 210 Wallabout ST – Brooklyn, NY 11206  
WORK ORDER SURVEYED BY: Mario Lopez  
SURVEY DATE: 03/31/2020  
WORK ORDER CHECKED BY:

**THIS DOCUMENT IS FOR BUILDING APPROVAL ONLY**

**CHARTER/SPECTRUM CABLE OF NEW YORK CITY SHALL DO THE FOLLOWING:**

- A. COMPLETE FINAL CONNECTION AT POINT OF SERVICE TO BUILDING.  
(DO ALL OUTSIDE WORK)
- B. PROVIDE ALL CABLE
- C. PULL CABLE FROM THE DESIGNATED LOCATION INTO THE P.O.E OF (LOCATION)
- D. PULL and Build entire coaxial riser.
- E. INSTALL all Taps/Lockboxes on floors 2-7, alternating between A and B stair cases.
- F. Core Drill new POE and each Floor from 2-7, to install riser.
- G. Place Molding along Ceiling, matching color of floor and running along each unit of each floor.

**Apartment Wiring:**

- H. Each apartment wiring will be done based on tenant service request – Due to walls already closed.

=====

COMMENTS: The only feasible way to provide feed is to have a roof Entry, there is no direct path from easement to staircase location. Building Management was unable to provide building plans. All work proposed based on structural limitations.

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**CHARTER/SPECTRUM CABLE MARKETING AND DEVELOPMENT**

**APPROVED BY:**  
**PRINT NAME:**  
**PRINT TITLE:**

**DATE:**

**120 East 23<sup>rd</sup> Street**  
**New York, NY 10010**

**SURVEY DEPARTMENT**  
**NEW RESIDENTIAL CONSTRUCTION**

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**WORK TO BE PERFORMED BY DEVELOPER'S CONTRACTOR**

**Point of Entry ("P.O.E"):**

242 W 53rd Street

## **Standard MDU Coax Build**

The standard MDU build will include the following:

- Outside Plant HFC infrastructure
  - Spectrum's Hybrid Fiber/Coax (HFC) distribution network that provides service to our customers
  - This network is typically in the public right of way and not part of the building infrastructure
    - Construction methods to create complete connectivity
      - Aerial building attachment
      - Exterior cable routing & placement
      - Underground trench, conduit installation, cable placement
      - Sidewalk remove & replace, and trench
      - Service vault installation
- Take off Point
  - The location in our HFC network where service to the target building will originate
  - This take off point is typically in the in the public right of way
    - Spectrum will make every attempt to create the most effective pathway available, with consideration to our existing takeoff point
    - The type of existing infrastructure pathways available
      - Aerial, underground, or a combination of both
      - Pole licenses, permits, etc., as needed, City, State, Dept of Buildings, etc.
- Point of Entry (POE)
  - The point on the target building where our outside infrastructure enters the building
  - This can be aerial or underground, depending on the existing infrastructure in place
    - Spectrum will make every attempt determine the most effective point of entry considering
      - Our Take Off point
      - The type of existing infrastructure pathways available, Aerial, or Underground
      - Pole licenses, permits, etc., as needed, City, State, Dept of Buildings, etc.
- POE to Distribution Point Pathway
  - The distribution center for the building is usually in the basement or lower levels
  - Spectrum will need a pathway from the Point of Entry to the MDF.
    - This may be installed in EMT pipe as required per building specifications
    - Establish (1) 4" conduit from POE in to building in basement level to MDF
    - Location should approved by property management
- Main Distribution Frame (MDF) room
  - The Main Distribution location serves as the point in the building where Spectrum will initiate its service to all units in the building, usually located in the basement or lower levels. This is sometimes called the Telco room.
    - Location should approved by property management
    - Establish a 4' x 4' x ¾" fire rated plywood panel in the area designated for spectrum equipment
    - Install EMT conduits for risers, if needed as per building code
    - Install Power Supply, if needed, which will be connected directly to ConEd source
      - Appropriate permits and case #s will be filed by Spectrum
      - Installation location to be approved by property management
    - Install Spectrum equipment including:
      - HFC nodes
      - Splice closures
      - Distribution amps and taps
      - Distribution cables

- Vertical Riser
  - The vertical coax feeder cable infrastructure that will connect the equipment in the MDF room to the equipment in all IDF rooms for service to all service drops
  - This riser is typically in the IDF room
  - Depending on building code, the riser may need to be installed in EMT
- Intermediate Distribution Frame (IDF) room
  - The distribution center for each floor of the building, typically an electrical or storage closet.
  - The service drop cable from each unit terminate at these locations, and are the point of service for activation
  - Install Spectrum equipment including:
    - Lock boxes
    - Service taps
    - Coax amplifiers
    - Splice closures
    - Drop cable from each unit terminate at these locations
- Service drops
  - The drop cable as per current Spectrum specifications
  - To be installed from the IDF into each unit or apartment
  - This cable will connect the customer facing equipment to the service taps in the IDF room
  - All drop cabling installation must meet all building codes
  - Depending on the type of build, the service drops may be installed in the following manner:
    - Existing pathways, such as conduit, or open walls during new construction or renovation
    - Hallway interior molding
    - Outside wall wiring
    - Drop ceiling (may require plenum rated cabling)
    - Open raceways or other pathways will be explored as options for service drops
    - If wiring is requested to be installed in drop ceilings, Spectrum must use Plenum wiring as per building code
    - Any breaking open of walls to run cables to apartments will be restored to original condition prior to the work starting
    - *Notes:*
      - *Entry into each unit is required*
      - *The routing of these cables may require drilling in hallways, interior, and exterior walls to create a complete pathway*
- Building Survey Requirements
  - A full survey is required to determine the best way to provide service
    - The survey will define the following required information:
      - The actual number of service locations:
        - Number of floors building
        - Individual apartments per floor
        - Commercial units per floor
        - Special requests (office locations, common areas, etc.)
      - Entry points
      - Risers / IDF locations
      - Pathways
      - Equipment locations
      - Special circumstances required or building code issues

125 Court Street

## **Standard MDU Coax Build**

The standard MDU build will include the following:

- **Outside Plant HFC infrastructure**
  - Spectrum's Hybrid Fiber/Coax (HFC) distribution network that provides service to our customers
  - This network is typically in the public right of way and not part of the building infrastructure
    - Construction methods to create complete connectivity
      - Aerial building attachment
      - Exterior cable routing & placement
      - Underground trench, conduit installation, cable placement
      - Sidewalk remove & replace, and trench
      - Service vault installation
- **Take off Point**
  - The location in our HFC network where service to the target building will originate
  - This take off point is typically in the in the public right of way
    - Spectrum will make every attempt to create the most effective pathway available, with consideration to our existing takeoff point
    - The type of existing infrastructure pathways available
      - Aerial, underground, or a combination of both
      - Pole licenses, permits, etc., as needed, City, State, Dept of Buildings, etc.
- **Point of Entry (POE)**
  - The point on the target building where our outside infrastructure enters the building
  - This can be aerial or underground, depending on the existing infrastructure in place
    - Spectrum will make every attempt determine the most effective point of entry considering
      - Our Take Off point
      - The type of existing infrastructure pathways available, Aerial, or Underground
      - Pole licenses, permits, etc., as needed, City, State, Dept of Buildings, etc.
- **POE to Distribution Point Pathway**
  - The distribution center for the building is usually in the basement or lower levels
  - Spectrum will need a pathway from the Point of Entry to the MDF.
    - This may be installed in EMT pipe as required per building specifications
    - Establish (1) 4" conduit from POE in to building in basement level to MDF
    - Location should approved by property management
- **Main Distribution Frame (MDF) room**
  - The Main Distribution location serves as the point in the building where Spectrum will initiate its service to all units in the building, usually located in the basement or lower levels. This is sometimes called the Telco room.
    - Location should approved by property management
    - Establish a 4' x 4' x ¾" fire rated plywood panel in the area designated for spectrum equipment
    - Install EMT conduits for risers, if needed as per building code
    - Install Power Supply, if needed, which will be connected directly to ConEd source
      - Appropriate permits and case #s will be filed by Spectrum
      - Installation location to be approved by property management
    - Install Spectrum equipment including:
      - HFC nodes
      - Splice closures
      - Distribution amps and taps
      - Distribution cables

- Vertical Riser
  - The vertical coax feeder cable infrastructure that will connect the equipment in the MDF room to the equipment in all IDF rooms for service to all service drops
  - This riser is typically in the IDF room
  - Depending on building code, the riser may need to be installed in EMT
- Intermediate Distribution Frame (IDF) room
  - The distribution center for each floor of the building, typically an electrical or storage closet.
  - The service drop cable from each unit terminate at these locations, and are the point of service for activation
  - Install Spectrum equipment including:
    - Lock boxes
    - Service taps
    - Coax amplifiers
    - Splice closures
    - Drop cable from each unit terminate at these locations
- Service drops
  - The drop cable as per current Spectrum specifications
  - To be installed from the IDF into each unit or apartment
  - This cable will connect the customer facing equipment to the service taps in the IDF room
  - All drop cabling installation must meet all building codes
  - Depending on the type of build, the service drops may be installed in the following manner:
    - Existing pathways, such as conduit, or open walls during new construction or renovation
    - Hallway interior molding
    - Outside wall wiring
    - Drop ceiling (may require plenum rated cabling)
    - Open raceways or other pathways will be explored as options for service drops
    - If wiring is requested to be installed in drop ceilings, Spectrum must use Plenum wiring as per building code
    - Any breaking open of walls to run cables to apartments will be restored to original condition prior to the work starting
    - *Notes:*
      - *Entry into each unit is required*
      - *The routing of these cables may require drilling in hallways, interior, and exterior walls to create a complete pathway*
- Building Survey Requirements
  - A full survey is required to determine the best way to provide service
    - The survey will define the following required information:
      - The actual number of service locations:
        - Number of floors building
        - Individual apartments per floor
        - Commercial units per floor
        - Special requests (office locations, common areas, etc.)
      - Entry points
      - Risers / IDF locations
      - Pathways
      - Equipment locations
      - Special circumstances required or building code issues

286 Ashland Place



## **Standard MDU Coax Build**

The standard MDU build will include the following:

- **Outside Plant HFC infrastructure**
  - Spectrum's Hybrid Fiber/Coax (HFC) distribution network that provides service to our customers
  - This network is typically in the public right of way and not part of the building infrastructure
    - Construction methods to create complete connectivity
      - Aerial building attachment
      - Exterior cable routing & placement
      - Underground trench, conduit installation, cable placement
      - Sidewalk remove & replace, and trench
      - Service vault installation
- **Take off Point**
  - The location in our HFC network where service to the target building will originate
  - This take off point is typically in the in the public right of way
    - Spectrum will make every attempt to create the most effective pathway available, with consideration to our existing takeoff point
    - The type of existing infrastructure pathways available
      - Aerial, underground, or a combination of both
      - Pole licenses, permits, etc., as needed, City, State, Dept of Buildings, etc.
- **Point of Entry (POE)**
  - The point on the target building where our outside infrastructure enters the building
  - This can be aerial or underground, depending on the existing infrastructure in place
    - Spectrum will make every attempt determine the most effective point of entry considering
      - Our Take Off point
      - The type of existing infrastructure pathways available, Aerial, or Underground
      - Pole licenses, permits, etc., as needed, City, State, Dept of Buildings, etc.
- **POE to Distribution Point Pathway**
  - The distribution center for the building is usually in the basement or lower levels
  - Spectrum will need a pathway from the Point of Entry to the MDF.
    - This may be installed in EMT pipe as required per building specifications
    - Establish (1) 4" conduit from POE in to building in basement level to MDF
    - Location should approved by property management
- **Main Distribution Frame (MDF) room**
  - The Main Distribution location serves as the point in the building where Spectrum will initiate its service to all units in the building, usually located in the basement or lower levels. This is sometimes called the Telco room.
    - Location should approved by property management
    - Establish a 4' x 4' x ¾" fire rated plywood panel in the area designated for spectrum equipment
    - Install EMT conduits for risers, if needed as per building code
    - Install Power Supply, if needed, which will be connected directly to ConEd source
      - Appropriate permits and case #s will be filed by Spectrum
      - Installation location to be approved by property management
    - Install Spectrum equipment including:
      - HFC nodes
      - Splice closures
      - Distribution amps and taps
      - Distribution cables

- Vertical Riser
  - The vertical coax feeder cable infrastructure that will connect the equipment in the MDF room to the equipment in all IDF rooms for service to all service drops
  - This riser is typically in the IDF room
  - Depending on building code, the riser may need to be installed in EMT
- Intermediate Distribution Frame (IDF) room
  - The distribution center for each floor of the building, typically an electrical or storage closet.
  - The service drop cable from each unit terminate at these locations, and are the point of service for activation
  - Install Spectrum equipment including:
    - Lock boxes
    - Service taps
    - Coax amplifiers
    - Splice closures
    - Drop cable from each unit terminate at these locations
- Service drops
  - The drop cable as per current Spectrum specifications
  - To be installed from the IDF into each unit or apartment
  - This cable will connect the customer facing equipment to the service taps in the IDF room
  - All drop cabling installation must meet all building codes
  - Depending on the type of build, the service drops may be installed in the following manner:
    - Existing pathways, such as conduit, or open walls during new construction or renovation
    - Hallway interior molding
    - Outside wall wiring
    - Drop ceiling (may require plenum rated cabling)
    - Open raceways or other pathways will be explored as options for service drops
    - If wiring is requested to be installed in drop ceilings, Spectrum must use Plenum wiring as per building code
    - Any breaking open of walls to run cables to apartments will be restored to original condition prior to the work starting
    - *Notes:*
      - *Entry into each unit is required*
      - *The routing of these cables may require drilling in hallways, interior, and exterior walls to create a complete pathway*
- Building Survey Requirements
  - A full survey is required to determine the best way to provide service
    - The survey will define the following required information:
      - The actual number of service locations:
        - Number of floors building
        - Individual apartments per floor
        - Commercial units per floor
        - Special requests (office locations, common areas, etc.)
      - Entry points
      - Risers / IDF locations
      - Pathways
      - Equipment locations
      - Special circumstances required or building code issues

325 Kent Avenue



120 East 23<sup>rd</sup> Street  
New York, NY 10010

**SURVEY DEPARTMENT  
NEW RESIDENTIAL CONSTRUCTION**

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<b>PRISM ID #:</b> 1884147	<b>UNITS:</b> 522 UNITS (RESIDENTIAL)	<b>BLOCK:</b>
<b>DATE ISSUED:</b> 3/30/2020	<b>UNKNOWN (COMMERCIAL)</b>	
<b>FLOORS:</b> 17 FLOORS		
<b>ADDRESS:</b> 325 KENT AVENUE BROOKLYN, NY 11249		
<b>WORK ORDER SURVEYED BY:</b> ANTHONY GARCIA		
<b>SURVEY DATE:</b> 3/30/2020		
<b>POC:</b> N/A	<b>Email:</b>	<b>Title:</b>

**THIS DOCUMENT IS FOR BUILDING APPROVAL ONLY**

**CHARTER/SPECTRUM CABLE OF NEW YORK CITY SHALL DO THE FOLLOWING:**

- A. PULL FIBER RISER
- B. COMPLETE FINAL HOOK-UPS IN APARTMENTS
- C. COMPLETE FINAL HOOK UP AT ALL RISERS
- D. COMPLETE FINAL CONNECTION AT POINT OF SERVICE TO BUILDING.  
(DO ALL OUTSIDE WORK)
- E. PROVIDE ALL CABLE
- F. PULL CABLE FROM THE DESIGNATED LOCATION INTO THE P.O.E OF 325 KENT AVENUE
- G. PULL (1) FIRE RATED FIBER FROM THE DESIGNATED GROUND FLOOR RISER LOCATIONS UP TO THE  
LAST TELECOM CLOSET(S) IN 4-INCH EMT PIPE PROVIDED BY THE BUILDER.
- H. INSTALL ALL EQUIPMENT IN EACH TELECOM CLOSET ON THE 4'4'x 3/4' FIRE RATED PLYWOOD  
PANELS THAT THE BUILDING WILL SUPPLY.

=====

COMMENTS:

=====

**CHARTER/SPECTRUM CABLE MARKETING AND DEVELOPMENT**

**APPROVED BY:**  
**PRINT NAME:**  
**PRINT TITLE:**

**DATE:**

**SURVEY DEPARTMENT  
NEW RESIDENTIAL CONSTRUCTION**

---

**WORK TO BE PERFORMED BY DEVELOPER'S CONTRACTOR**

**Point of Entry ("P.O.E"):**

The P.O.E for Charter CATV service will be located at cellar floor of building.

1. Provide (1) 4' x 4' x 3/4" fire rated plywood panel in the main telecom room designated for Charter passive/active equipment.
2. Supply 110 VAC 20 Amp circuit to power Charter Equipment Riser
3. Provide (1) 4'x4'x 3/4" fire rated plywood panel for CATV equipment in each of the telecom closets that will have equipment up the riser.
4. Supply 110 VAC outlet in each of the telecom closets to power Charter Equipment

**Apartment Wiring:**

1. Mount NID Boxes and blank wall plates at all CATV outlet locations.
2. Pull cables from the NID Box throughout each apartment to each wall plate outlet.
3. Tag and identify all Charter/Spectrum Cable Lines.
4. Provide 110 VAC outlet in each NID to power Charter Equipment

**WORK TO BE PERFORMED BY SPECTRUM**

**Point of Entry ("P.O.E"):**

1. Provide (1) core to accommodate (1) 4-inch conduit through the P.O.E.

**Riser:**

1. Provide (1) 4" EMT conduit from the main telecom room up to the top floor of the telecom closets with breaks in floors 1 through 17. On Floors that we will install equipment.



2. Pull (1) Hybrid cable, to each apartment from designated telecom closet; **(home run cables cannot exceed 150ft. (NO EXCEPTIONS))**

266 Kent Avenue

## 266 Kent

Please see below for remaining work at 260 Kent Ave.

- **Underground Work**
  - We need to run fiber inside the building from our existing vault on Grand St. At this moment our contractor will intercept 260 Kent's stubbed pipes, in order to connect them. Once this is completed, we will need to pull fiber optic cable from our existing vault to 260 Kent's basement telecommunications room. [We will need to coordinate onsite the day of install to intercept the building pipe.](#)
    - **Total time: 2 Days**
- **MDF (Main Distribution Frame)**
  - Will be mounted in the basement telecommunication room. [On site verification of available space completed during walkout on 12/11/19.](#)
    - Requires installing of six pieces of equipment on top of a 4x8' sheet of plywood. [\( plywood is already installed\)](#)
    - Install & splice equipment on plywood in telecom room (MDF).
      - FDH (Frame Distribution Hub)
      - FDP (Fiber Distribution Panel)
      - OLT (Optical Line Terminal)
      - VHUB (Video Hub)
      - Splice enclosure
      - Power supply
  - **Total time: 3 Day**
- **Riser**
  - In order to complete this, we are required to run the lines from each IDF (Intermediate distribution frame) to the MDF. [\(Using existing building provided conduits, verified during Walkout on 12/11/19\).](#) Then we will need to splice on the connectors for each apartment unit line to connect them into the RDTs (Rapid Distribution Terminal).
  - Requires our teams to have access to each riser cabinet. [Verified IDF closet cabinets provided by the builder will house the termination equipment during walkout on 12/11/19.](#)



- Below are each piece of equipment that will need to be installed inside riser cabinets.
  - RDTs (Rapid Distribution Terminal)
    - EPON Fiber Terminal
  - RFoGs (Radio Frequency over Glass)
    - RFoGs need access to AC outlet in each IDF.
    - Coax Terminal.
  - **Total time: 5 Days (Total IDFs: 19)**
- **Testing**
  - MDF testing usually requires multiple days to complete. For these tests, we have our in-house teams working with our out-of-state teams. [This work will be performed in parallel to the other activations.](#)
    - Light test
      - We test from our central office to the FDP panel. This will allow us to see if data is passing through efficiently.
    - VHUB testing
      - We test the video quality being outputted from our central office to the site.
    - ORT (Operation readiness test)
      - For ORT, we will test how effective our systems are to different loads.
    - **Total time: 3 Days**
  - Riser Testing
    - Balancing RFoGs
      - This requires us to test the RF output levels of each RFOG inside each IDF.
    - **Total time: 3 Days**
- **Horizontal wiring**
  - In unit wiring previously installed by building GC. [All materials previously provided by Charter, verified installed correctly during walkout on 12/11/19](#)
  - Connectors in riser cabinet to be installed at time of riser work.
  - Connectors in unit to be installed during customer start up.

**Grand total: Estimated 18 days. (This can be reduced if work is done simultaneously).**

MDF:



RDT:



RFoG:



TAP:



1059 3rd Avenue

## **Standard MDU Coax Build**

The standard MDU build will include the following:

- **Outside Plant HFC infrastructure**
  - Spectrum's Hybrid Fiber/Coax (HFC) distribution network that provides service to our customers
  - This network is typically in the public right of way and not part of the building infrastructure
    - Construction methods to create complete connectivity
      - Aerial building attachment
      - Exterior cable routing & placement
      - Underground trench, conduit installation, cable placement
      - Sidewalk remove & replace, and trench
      - Service vault installation
- **Take off Point**
  - The location in our HFC network where service to the target building will originate
  - This take off point is typically in the in the public right of way
    - Spectrum will make every attempt to create the most effective pathway available, with consideration to our existing takeoff point
    - The type of existing infrastructure pathways available
      - Aerial, underground, or a combination of both
      - Pole licenses, permits, etc., as needed, City, State, Dept of Buildings, etc.
- **Point of Entry (POE)**
  - The point on the target building where our outside infrastructure enters the building
  - This can be aerial or underground, depending on the existing infrastructure in place
    - Spectrum will make every attempt determine the most effective point of entry considering
      - Our Take Off point
      - The type of existing infrastructure pathways available, Aerial, or Underground
      - Pole licenses, permits, etc., as needed, City, State, Dept of Buildings, etc.
- **POE to Distribution Point Pathway**
  - The distribution center for the building is usually in the basement or lower levels
  - Spectrum will need a pathway from the Point of Entry to the MDF.
    - This may be installed in EMT pipe as required per building specifications
    - Establish (1) 4" conduit from POE in to building in basement level to MDF
    - Location should approved by property management
- **Main Distribution Frame (MDF) room**
  - The Main Distribution location serves as the point in the building where Spectrum will initiate its service to all units in the building, usually located in the basement or lower levels. This is sometimes called the Telco room.
    - Location should approved by property management
    - Establish a 4' x 4' x ¾" fire rated plywood panel in the area designated for spectrum equipment
    - Install EMT conduits for risers, if needed as per building code
    - Install Power Supply, if needed, which will be connected directly to ConEd source
      - Appropriate permits and case #s will be filed by Spectrum
      - Installation location to be approved by property management
    - Install Spectrum equipment including:
      - HFC nodes
      - Splice closures
      - Distribution amps and taps
      - Distribution cables

- Vertical Riser
  - The vertical coax feeder cable infrastructure that will connect the equipment in the MDF room to the equipment in all IDF rooms for service to all service drops
  - This riser is typically in the IDF room
  - Depending on building code, the riser may need to be installed in EMT
- Intermediate Distribution Frame (IDF) room
  - The distribution center for each floor of the building, typically an electrical or storage closet.
  - The service drop cable from each unit terminate at these locations, and are the point of service for activation
  - Install Spectrum equipment including:
    - Lock boxes
    - Service taps
    - Coax amplifiers
    - Splice closures
    - Drop cable from each unit terminate at these locations
- Service drops
  - The drop cable as per current Spectrum specifications
  - To be installed from the IDF into each unit or apartment
  - This cable will connect the customer facing equipment to the service taps in the IDF room
  - All drop cabling installation must meet all building codes
  - Depending on the type of build, the service drops may be installed in the following manner:
    - Existing pathways, such as conduit, or open walls during new construction or renovation
    - Hallway interior molding
    - Outside wall wiring
    - Drop ceiling (may require plenum rated cabling)
    - Open raceways or other pathways will be explored as options for service drops
    - If wiring is requested to be installed in drop ceilings, Spectrum must use Plenum wiring as per building code
    - Any breaking open of walls to run cables to apartments will be restored to original condition prior to the work starting
    - *Notes:*
      - *Entry into each unit is required*
      - *The routing of these cables may require drilling in hallways, interior, and exterior walls to create a complete pathway*
- Building Survey Requirements
  - A full survey is required to determine the best way to provide service
    - The survey will define the following required information:
      - The actual number of service locations:
        - Number of floors building
        - Individual apartments per floor
        - Commercial units per floor
        - Special requests (office locations, common areas, etc.)
      - Entry points
      - Risers / IDF locations
      - Pathways
      - Equipment locations
      - Special circumstances required or building code issues

9 Deklab Avenue





120 East 23<sup>rd</sup> Street  
New York, NY 10010

**SURVEY DEPARTMENT  
NEW RESIDENTIAL CONSTRUCTION**

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<b>PRISM ID #:</b> PID 1809514	<b>UNITS:</b> 547 UNITS (RESIDENTIAL)	<b>BLOCK:</b>
<b>DATE ISSUED:</b> 11/28/2020	<b>UNKNOWN (COMMERCIAL)</b>	
<b>FLOORS:</b> 74 FLOORS		
<b>ADDRESS:</b> 9 DEKALB AVENUE BROOKLYN, BY 11201		
<b>WORK ORDER SURVEYED BY:</b> WILL BIXENMAN		
<b>SURVEY DATE:</b> 11/28/2020		
<b>POC:</b> DAVID KOSTER (646) 650-5811	<b>Email:</b>	<b>Title:</b>
ASHLEY (718) 710-6409		

**THIS DOCUMENT IS FOR BUILDING APPROVAL ONLY**

**CHARTER/SPECTRUM CABLE OF NEW YORK CITY SHALL DO THE FOLLOWING:**

- A. PULL FIBER RISER
- B. COMPLETE FINAL HOOK-UPS IN APARTMENTS
- C. COMPLETE FINAL HOOK UP AT ALL RISERS
- D. COMPLETE FINAL CONNECTION AT POINT OF SERVICE TO BUILDING.  
(DO ALL OUTSIDE WORK)
- E. PROVIDE ALL CABLE
- F. PULL CABLE FROM THE DESIGNATED LOCATION INTO THE P.O.E OF
- G. PULL (1) FIRE RATED FIBER FROM THE DESIGNATED GROUND FLOOR RISER LOCATIONS UP TO THE  
LAST TELECOM CLOSET(S) IN 4-INCH EMT PIPE PROVIDED BY THE BUILDER.
- H. INSTALL ALL EQUIPMENT IN EACH TELECOM CLOSET ON THE 4'4' x 3/4' FIRE RATED PLYWOOD  
PANELS THAT THE BUILDING WILL SUPPLY.

=====

COMMENTS:

=====

**CHARTER/SPECTRUM CABLE MARKETING AND DEVELOPMENT**

**APPROVED BY:**  
**PRINT NAME:**  
**PRINT TITLE:**

**DATE:**

**SURVEY DEPARTMENT  
NEW RESIDENTIAL CONSTRUCTION**

---

**WORK TO BE PERFORMED BY DEVELOPER'S CONTRACTOR**

**Point of Entry ("P.O.E"):**

The P.O.E for Charter CATV service will be located at Cellar Floor of Building.

1. Provide (1) 4' x 4' x 3/4" fire rated plywood panel in the main telecom room designated for Charter passive/active equipment.
2. Supply 110 VAC 20 Amp circuit to power Charter Equipment Riser
3. Provide (1) 4'x4'x 3/4" fire rated plywood panel for CATV equipment in each of the telecom closets that will have equipment up the riser.
4. Supply 110 VAC outlet in each of the telecom closets to power Charter Equipment
5. Building will provide 4" EMT conduit from the main telecom room up to the top floor. Building will core all floors and provide all conduits used for Riser including at places where Riser location shifts.

**Apartment Wiring:**

1. Mount NID Boxes and blank wall plates at all CATV outlet locations.
2. Pull cables from the NID Box throughout each apartment to each wall plate outlet.
3. Tag and identify all Charter/Spectrum Cable Lines.
4. Provide 110 VAC outlet in each NID to power Charter Equipment

**WORK TO BE PERFORMED BY SPECTRUM**

**Point of Entry ("P.O.E"):**

1. Pull (1) Hybrid cable, to each apartment from designated telecom closet; **(home run cables cannot exceed 150ft. (NO EXCEPTIONS))**

34 S 9th Street

## **Standard MDU Coax Build**

The standard MDU build will include the following:

- **Outside Plant HFC infrastructure**
  - Spectrum's Hybrid Fiber/Coax (HFC) distribution network that provides service to our customers
  - This network is typically in the public right of way and not part of the building infrastructure
    - Construction methods to create complete connectivity
      - Aerial building attachment
      - Exterior cable routing & placement
      - Underground trench, conduit installation, cable placement
      - Sidewalk remove & replace, and trench
      - Service vault installation
- **Take off Point**
  - The location in our HFC network where service to the target building will originate
  - This take off point is typically in the in the public right of way
    - Spectrum will make every attempt to create the most effective pathway available, with consideration to our existing takeoff point
    - The type of existing infrastructure pathways available
      - Aerial, underground, or a combination of both
      - Pole licenses, permits, etc., as needed, City, State, Dept of Buildings, etc.
- **Point of Entry (POE)**
  - The point on the target building where our outside infrastructure enters the building
  - This can be aerial or underground, depending on the existing infrastructure in place
    - Spectrum will make every attempt determine the most effective point of entry considering
      - Our Take Off point
      - The type of existing infrastructure pathways available, Aerial, or Underground
      - Pole licenses, permits, etc., as needed, City, State, Dept of Buildings, etc.
- **POE to Distribution Point Pathway**
  - The distribution center for the building is usually in the basement or lower levels
  - Spectrum will need a pathway from the Point of Entry to the MDF.
    - This may be installed in EMT pipe as required per building specifications
    - Establish (1) 4" conduit from POE in to building in basement level to MDF
    - Location should approved by property management
- **Main Distribution Frame (MDF) room**
  - The Main Distribution location serves as the point in the building where Spectrum will initiate its service to all units in the building, usually located in the basement or lower levels. This is sometimes called the Telco room.
    - Location should approved by property management
    - Establish a 4' x 4' x ¾" fire rated plywood panel in the area designated for spectrum equipment
    - Install EMT conduits for risers, if needed as per building code
    - Install Power Supply, if needed, which will be connected directly to ConEd source
      - Appropriate permits and case #s will be filed by Spectrum
      - Installation location to be approved by property management
    - Install Spectrum equipment including:
      - HFC nodes
      - Splice closures
      - Distribution amps and taps
      - Distribution cables

- Vertical Riser
  - The vertical coax feeder cable infrastructure that will connect the equipment in the MDF room to the equipment in all IDF rooms for service to all service drops
  - This riser is typically in the IDF room
  - Depending on building code, the riser may need to be installed in EMT
- Intermediate Distribution Frame (IDF) room
  - The distribution center for each floor of the building, typically an electrical or storage closet.
  - The service drop cable from each unit terminate at these locations, and are the point of service for activation
  - Install Spectrum equipment including:
    - Lock boxes
    - Service taps
    - Coax amplifiers
    - Splice closures
    - Drop cable from each unit terminate at these locations
- Service drops
  - The drop cable as per current Spectrum specifications
  - To be installed from the IDF into each unit or apartment
  - This cable will connect the customer facing equipment to the service taps in the IDF room
  - All drop cabling installation must meet all building codes
  - Depending on the type of build, the service drops may be installed in the following manner:
    - Existing pathways, such as conduit, or open walls during new construction or renovation
    - Hallway interior molding
    - Outside wall wiring
    - Drop ceiling (may require plenum rated cabling)
    - Open raceways or other pathways will be explored as options for service drops
    - If wiring is requested to be installed in drop ceilings, Spectrum must use Plenum wiring as per building code
    - Any breaking open of walls to run cables to apartments will be restored to original condition prior to the work starting
    - *Notes:*
      - *Entry into each unit is required*
      - *The routing of these cables may require drilling in hallways, interior, and exterior walls to create a complete pathway*
- Building Survey Requirements
  - A full survey is required to determine the best way to provide service
    - The survey will define the following required information:
      - The actual number of service locations:
        - Number of floors building
        - Individual apartments per floor
        - Commercial units per floor
        - Special requests (office locations, common areas, etc.)
      - Entry points
      - Risers / IDF locations
      - Pathways
      - Equipment locations
      - Special circumstances required or building code issues

153-52 76th Road

## **Standard MDU Coax Build**

The standard MDU build will include the following:

- **Outside Plant HFC infrastructure**
  - Spectrum's Hybrid Fiber/Coax (HFC) distribution network that provides service to our customers
  - This network is typically in the public right of way and not part of the building infrastructure
    - Construction methods to create complete connectivity
      - Aerial building attachment
      - Exterior cable routing & placement
      - Underground trench, conduit installation, cable placement
      - Sidewalk remove & replace, and trench
      - Service vault installation
- **Take off Point**
  - The location in our HFC network where service to the target building will originate
  - This take off point is typically in the in the public right of way
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      - The type of existing infrastructure pathways available, Aerial, or Underground
      - Pole licenses, permits, etc., as needed, City, State, Dept of Buildings, etc.
- **POE to Distribution Point Pathway**
  - The distribution center for the building is usually in the basement or lower levels
  - Spectrum will need a pathway from the Point of Entry to the MDF.
    - This may be installed in EMT pipe as required per building specifications
    - Establish (1) 4" conduit from POE in to building in basement level to MDF
    - Location should approved by property management
- **Main Distribution Frame (MDF) room**
  - The Main Distribution location serves as the point in the building where Spectrum will initiate its service to all units in the building, usually located in the basement or lower levels. This is sometimes called the Telco room.
    - Location should approved by property management
    - Establish a 4' x 4' x ¾" fire rated plywood panel in the area designated for spectrum equipment
    - Install EMT conduits for risers, if needed as per building code
    - Install Power Supply, if needed, which will be connected directly to ConEd source
      - Appropriate permits and case #s will be filed by Spectrum
      - Installation location to be approved by property management
    - Install Spectrum equipment including:
      - HFC nodes
      - Splice closures
      - Distribution amps and taps
      - Distribution cables

- Vertical Riser
  - The vertical coax feeder cable infrastructure that will connect the equipment in the MDF room to the equipment in all IDF rooms for service to all service drops
  - This riser is typically in the IDF room
  - Depending on building code, the riser may need to be installed in EMT
- Intermediate Distribution Frame (IDF) room
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    - Splice closures
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    - Existing pathways, such as conduit, or open walls during new construction or renovation
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    - Outside wall wiring
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        - Commercial units per floor
        - Special requests (office locations, common areas, etc.)
      - Entry points
      - Risers / IDF locations
      - Pathways
      - Equipment locations
      - Special circumstances required or building code issues



31-50 14th Street  
a/k/a 1215 Broadway

## **Standard MDU Coax Build**

The standard MDU build will include the following:

- **Outside Plant HFC infrastructure**
  - Spectrum's Hybrid Fiber/Coax (HFC) distribution network that provides service to our customers
  - This network is typically in the public right of way and not part of the building infrastructure
    - Construction methods to create complete connectivity
      - Aerial building attachment
      - Exterior cable routing & placement
      - Underground trench, conduit installation, cable placement
      - Sidewalk remove & replace, and trench
      - Service vault installation
- **Take off Point**
  - The location in our HFC network where service to the target building will originate
  - This take off point is typically in the in the public right of way
    - Spectrum will make every attempt to create the most effective pathway available, with consideration to our existing takeoff point
    - The type of existing infrastructure pathways available
      - Aerial, underground, or a combination of both
      - Pole licenses, permits, etc., as needed, City, State, Dept of Buildings, etc.
- **Point of Entry (POE)**
  - The point on the target building where our outside infrastructure enters the building
  - This can be aerial or underground, depending on the existing infrastructure in place
    - Spectrum will make every attempt determine the most effective point of entry considering
      - Our Take Off point
      - The type of existing infrastructure pathways available, Aerial, or Underground
      - Pole licenses, permits, etc., as needed, City, State, Dept of Buildings, etc.
- **POE to Distribution Point Pathway**
  - The distribution center for the building is usually in the basement or lower levels
  - Spectrum will need a pathway from the Point of Entry to the MDF.
    - This may be installed in EMT pipe as required per building specifications
    - Establish (1) 4" conduit from POE in to building in basement level to MDF
    - Location should approved by property management
- **Main Distribution Frame (MDF) room**
  - The Main Distribution location serves as the point in the building where Spectrum will initiate its service to all units in the building, usually located in the basement or lower levels. This is sometimes called the Telco room.
    - Location should approved by property management
    - Establish a 4' x 4' x ¾" fire rated plywood panel in the area designated for spectrum equipment
    - Install EMT conduits for risers, if needed as per building code
    - Install Power Supply, if needed, which will be connected directly to ConEd source
      - Appropriate permits and case #s will be filed by Spectrum
      - Installation location to be approved by property management
    - Install Spectrum equipment including:
      - HFC nodes
      - Splice closures
      - Distribution amps and taps
      - Distribution cables

- Vertical Riser
  - The vertical coax feeder cable infrastructure that will connect the equipment in the MDF room to the equipment in all IDF rooms for service to all service drops
  - This riser is typically in the IDF room
  - Depending on building code, the riser may need to be installed in EMT
- Intermediate Distribution Frame (IDF) room
  - The distribution center for each floor of the building, typically an electrical or storage closet.
  - The service drop cable from each unit terminate at these locations, and are the point of service for activation
  - Install Spectrum equipment including:
    - Lock boxes
    - Service taps
    - Coax amplifiers
    - Splice closures
    - Drop cable from each unit terminate at these locations
- Service drops
  - The drop cable as per current Spectrum specifications
  - To be installed from the IDF into each unit or apartment
  - This cable will connect the customer facing equipment to the service taps in the IDF room
  - All drop cabling installation must meet all building codes
  - Depending on the type of build, the service drops may be installed in the following manner:
    - Existing pathways, such as conduit, or open walls during new construction or renovation
    - Hallway interior molding
    - Outside wall wiring
    - Drop ceiling (may require plenum rated cabling)
    - Open raceways or other pathways will be explored as options for service drops
    - If wiring is requested to be installed in drop ceilings, Spectrum must use Plenum wiring as per building code
    - Any breaking open of walls to run cables to apartments will be restored to original condition prior to the work starting
    - *Notes:*
      - *Entry into each unit is required*
      - *The routing of these cables may require drilling in hallways, interior, and exterior walls to create a complete pathway*
- Building Survey Requirements
  - A full survey is required to determine the best way to provide service
    - The survey will define the following required information:
      - The actual number of service locations:
        - Number of floors building
        - Individual apartments per floor
        - Commercial units per floor
        - Special requests (office locations, common areas, etc.)
      - Entry points
      - Risers / IDF locations
      - Pathways
      - Equipment locations
      - Special circumstances required or building code issues

124-28 Queens Boulevard



120 East 23<sup>rd</sup> Street  
New York, NY 10010

**SURVEY DEPARTMENT  
NEW RESIDENTIAL CONSTRUCTION**

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PRISM ID #: 1977688                      UNITS: (RESIDENTIAL)                      BLOCK:  
DATE ISSUED: 04/06/2020 Click or tap here to enter text.                      UNKNOWN (COMMERCIAL)  
FLOORS: 12  
ADDRESS: 124-28 Queens Blvd  
WORK ORDER SURVEYED BY: Bruce Carberry  
SURVEY DATE: 4/6/2020  
POC: Gang Huijaiang                      917-930-0219                      Title:  
Builder/Owner

**THIS DOCUMENT IS FOR BUILDING APPROVAL ONLY**

**CHARTER/SPECTRUM CABLE OF NEW YORK CITY SHALL DO THE FOLLOWING:**

- A. PULL COAX RISER
- B. COMPLETE FINAL HOOK-UPS IN APARTMENTS
- C. COMPLETE FINAL HOOK UP AT ALL AMPLIFIERS AND RISERS
- D. COMPLETE FINAL CONNECTION AT POINT OF SERVICE TO BUILDING.  
(DO ALL OUTSIDE WORK)
- E. PROVIDE ALL CABLE
- F. PULL CABLE FROM THE DESIGNATED LOCATION INTO THE P.O.E OF **(LOCATION)**
- G. PULL (1) FIRE RATED FIBER FROM THE DESIGNATED GROUND FLOOR RISER LOCATIONS UP TO THE LAST TELECOM CLOSET(S) IN 4-INCH EMT PIPE PROVIDED BY THE BUILDER.
- H. INSTALL ALL EQUIPMENT IN EACH TELECOM CLOSET ON THE 4'4' x 3/4' FIRE RATED PLYWOOD PANELS THAT THE BUILDING WILL SUPPLY.

=====

COMMENTS: This will need to be review once owner sign agreement. Also tie point is not definite we were unable to contact building but we have feeder in their basement. If we can use this method to tie in we will have to trech over 200 feet and ROI will not be met. Per Bruce Carberry Tie point will deter main if we can do this project. We need a path from building 123-35 82<sup>nd</sup> road

=====

**CHARTER/SPECTRUM CABLE MARKETING AND DEVELOPMENT**

**APPROVED BY:**

**DATE:**



PRINT NAME:

PRINT TITLE:

120 East 23<sup>rd</sup> Street  
New York, NY 10010

**SURVEY DEPARTMENT  
NEW RESIDENTIAL CONSTRUCTION**

---

**WORK TO BE PERFORMED BY DEVELOPER'S CONTRACTOR**

**Point of Entry ("P.O.E"):**

The P.O.E for Charter CATV service will be located at **(On south wall in basement )**

1. Provide (1) 4' x 4' x 3/4" fire rated plywood panel in the main telecom room designated for Charter passive/active equipment.
2. Supply 110 VAC 20 Amp circuit to power Charter Equipment Riser
3. Provide (1) 4'x4'x 3/4" fire rated plywood panel for CATV equipment in each of the telecom closets that will have equipment up the riser.
4. Supply 110 VAC outlet in each of the telecom closets to power Charter Equipment

**Apartment Wiring:**

1. Mount NID Boxes and blank wall plates at all CATV outlet locations.
2. Pull cables from the NID Box throughout each apartment to each wall plate outlet.
3. Tag and identify all Charter/Spectrum Cable Lines.
4. Provide 110 VAC outlet in each NID to power Charter Equipment

**WORK TO BE PERFORMED BY SPECTRUM**

**Point of Entry ("P.O.E"):**

1. Provide (1) core to accommodate (1) 4-inch conduit through the P.O.E.

**Riser:**



1. Provide (1) 4" EMT conduit from the main telecom room up to the top floor of the telecom closets with breaks in floors (1,2,3,4,5,6,7,8,9,10,11,12) Floor that we will install equipment.
2. Pull (1) Coax cable, to each apartment from designated telecom closet; **(home run cables cannot exceed 150ft. (NO EXCEPTIONS))**

## Exhibit 2

# LANDLORD NOTICES



102 Charlton

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# SHERMAN & HOWARD L.L.C.

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633 Seventeenth Street, Suite 3000, Denver, CO 80202-3622  
Telephone: 303.297.2900 Fax: 303.298.0940 www.shermanhoward.com

Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

August 5, 2020

**BY CERTIFIED MAIL**

Ms. Diana Bui  
1999 Marcus Avenue  
Suite 310  
Lake Success, NY 11042

**Re: Access to 102 Charlton, New York, NY 10014 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Ms. Bui:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

Pursuant to Public Service Law § 224, cable television service providers are obligated to offer and provide services in accordance with applicable law, regulations, and franchise requirements. Moreover, pursuant to Public Service Law § 228, landlords are prohibited from interfering with the installation of cable television facilities upon their properties.

In addition, Title 16 of the New York Code, Rules and Regulations ("NYCRR") 898, titled "Right of Entry," provides that Charter "shall have a right to enter the property of the landlord" for the purpose of "making surveys or other investigations preparatory to the installation." Pursuant to that Section, Charter may enter the property of a landlord to complete the installation upon providing notice to the landlord according to the terms of 16 NYCRR 898. That section further provides that should a landlord refuse to grant Charter entry, Charter may file with the New York State Public Service Commission a Petition for an order allowing such entry.

New York state law also prohibits landlords from demanding or accepting any payment from any cable television company in exchange for permitting cable television service or facilities on the landlord's property. 16 NYCRR 898.1; see also N.Y. Pub. Serv. L. § 228(1)(b) (landlord may not "demand or accept payment from any tenant, in any form, in exchange for permitting cable television service on or within his property or premises, or from any cable television company in exchange therefor . . ."). Rather, a landlord has a right to seek just compensation for

such use through the New York State Public Service Commission, which has held in the past that the compensation is presumed to be de minimus.

The validity of these laws is beyond dispute—they have been upheld by both the New York Court of Appeals (the highest court in the State) and the United State Supreme Court. See *Loretto v. Teleprompter Manhattan CATV Corp.*, 458 U.S. 419 (1982), *on remand*, 58 N.Y. 2d 143 (1983).

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If we do not hear from you within 14 days, or our installation team is prevented from commencement of the necessary work to install our infrastructure, we may be forced to file a Petition for Order of Entry with the New York State Public Service Commission, after which you will be afforded, pursuant to 16 NYCRR 898.4(b)(9), twenty days to answer the Petition.

If you have any questions or need more information, please reach out directly to Offer Adinyayev at (347) 831-6844 or [offer.adinyayev@charter.com](mailto:offer.adinyayev@charter.com). We look forward to hearing from you and appreciate your immediate attention to this matter.

Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

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# SHERMAN & HOWARD L.L.C.

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633 Seventeenth Street, Suite 3000, Denver, CO 80202-3622  
Telephone: 303.297.2900 Fax: 303.298.0940 www.shermanhoward.com

Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

November 3, 2020

## **SECOND REQUEST**

### **BY CERTIFIED MAIL**

Ms. Diana Bui  
1999 Marcus Avenue  
Suite 310  
Lake Success, NY 11042

**Re: Access to 102 Charlton, New York, NY 10014 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Ms. Bui:

This firm represents Charter Communications ("Charter"). This second letter is in response to your continued refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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November 3, 2020

Page 2

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Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

606 West 30th Street

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# SHERMAN & HOWARD L.L.C.

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Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

August 5, 2020

**BY CERTIFIED MAIL**

Ms. Diana Bui  
1999 Marcus Avenue  
Suite 310  
Lake Success, NY 11042

**Re: Access to 606 West 30<sup>th</sup> Street, New York, NY 10001 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Ms. Bui:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela



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# SHERMAN & HOWARD L.L.C.

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Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

November 3, 2020

## **SECOND REQUEST**

### **BY CERTIFIED MAIL**

Ms. Diana Bui  
1999 Marcus Avenue  
Suite 310  
Lake Success, NY 11042

**Re: Access to 606 West 30<sup>th</sup> Street, New York, NY 10001 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Ms. Bui:

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November 3, 2020

Page 2

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Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

43-46 51st Street

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# SHERMAN & HOWARD L.L.C.

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**Sherman & Howard L.L.C.**  
**Direct Dial Number: 303.299.8320**  
**E-mail: cbarela@shermanhoward.com**

August 5, 2020

**BY CERTIFIED MAIL**

Linzhong Zhuo  
201 46<sup>th</sup> Street  
Brooklyn, NY 11220

**Re: Access to 43-46 51<sup>st</sup> Street, Flushing, NY 11377 (the "Property")**  
**Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Linzhong Zhuo:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

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November 2, 2020

## **SECOND REQUEST**

### **BY CERTIFIED MAIL**

Linzhong Zhuo  
201 46<sup>th</sup> Street  
Brooklyn, NY 11220

**Re: Access to 43-46 51<sup>st</sup> Street, Flushing, NY 11377 (the "Property")  
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November 2, 2020

Page 2

on the landlord's property. 16 NYCRR 898.1; see *also* N.Y. Pub. Serv. L. § 228(1)(b) (landlord may not "demand or accept payment from any tenant, in any form, in exchange for permitting cable television service on or within his property or premises, or from any cable television company in exchange therefor . . ."). Rather, a landlord has a right to seek just compensation for such use through the New York State Public Service Commission, which has held in the past that the compensation is presumed to be *de minimus*.

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Charter's proposed installation will protect the safety, functioning, and appearance of the Properties. Charter will bear the cost of the installation. Charter will also indemnify you for any damage that may be caused by the installation. Charter will dispatch an installation team on or after two weeks from the date of this Letter, to commence the necessary work in order to make Charter's services available to all current and/or future residents of the Property.

If we do not hear from you within 7 days, or our installation team is prevented from commencement of the necessary work to install our infrastructure, we may be forced to file a Petition for Order of Entry with the New York State Public Service Commission, after which you will be afforded, pursuant to 16 NYCRR 898.4(b)(9), twenty days to answer the Petition.

If you have any questions or need more information, please reach out directly to Offer Adinyayev at 347-831-6844 or [offer.adinyayev@charter.com](mailto:offer.adinyayev@charter.com). We look forward to hearing from you and appreciate your immediate attention to this matter.

Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

70-09 45th Avenue



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# SHERMAN & HOWARD L.L.C.

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633 Seventeenth Street, Suite 3000, Denver, CO 80202-3622  
Telephone: 303.297.2900 Fax: 303.298.0940 www.shermanhoward.com

Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

August 5, 2020

**BY CERTIFIED MAIL**

70-05 Realty Inc.  
Attn: Choi Yui Chan  
135-11 Northern Blvd.  
Queens, NY 11354

**Re: Access to 70-09 45<sup>th</sup> Avenue, Queens, NY 11377 (the "Property")**  
**Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Choi Yui Chan:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

Pursuant to Public Service Law § 224, cable television service providers are obligated to offer and provide services in accordance with applicable law, regulations, and franchise requirements. Moreover, pursuant to Public Service Law § 228, landlords are prohibited from interfering with the installation of cable television facilities upon their properties.

In addition, Title 16 of the New York Code, Rules and Regulations ("NYCRR") 898, titled "Right of Entry," provides that Charter "shall have a right to enter the property of the landlord" for the purpose of "making surveys or other investigations preparatory to the installation." Pursuant to that Section, Charter may enter the property of a landlord to complete the installation upon providing notice to the landlord according to the terms of 16 NYCRR 898. That section further provides that should a landlord refuse to grant Charter entry, Charter may file with the New York State Public Service Commission a Petition for an order allowing such entry.

New York state law also prohibits landlords from demanding or accepting any payment from any cable television company in exchange for permitting cable television service or facilities on the landlord's property. 16 NYCRR 898.1; see *also* N.Y. Pub. Serv. L. § 228(1)(b) (landlord may not "demand or accept payment from any tenant, in any form, in exchange for permitting cable television service on or within his property or premises, or from any cable television company in exchange therefor . . ."). Rather, a landlord has a right to seek just compensation for such use through the New York State Public Service Commission, which has held in the past that the compensation is presumed to be de minimus.

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If you have any questions or need more information, please reach out directly to Debra Netska at (212) 598-3408 or [debra.netska@charter.com](mailto:debra.netska@charter.com). We look forward to hearing from you and appreciate your immediate attention to this matter.

Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

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# SHERMAN & HOWARD L.L.C.

---

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Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

## **SECOND REQUEST**

November 3, 2020

### **BY CERTIFIED MAIL**

70-05 Realty Inc.  
Attn: Choi Yui Chan  
135-11 Northern Blvd.  
Queens, NY 11354

**Re: Access to 70-09 45<sup>th</sup> Avenue, Queens, NY 11377 (the "Property")  
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New York state law also prohibits landlords from demanding or accepting any payment from any cable television company in exchange for permitting cable television service or facilities on the landlord's property. 16 NYCRR 898.1; see also N.Y. Pub. Serv. L. § 228(1)(b) (landlord

November 3, 2020

Page 2

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Very truly yours,

/s/ *Cody M. Barela*

Cody M. Barela

144 West Street

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# SHERMAN & HOWARD L.L.C.

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633 Seventeenth Street, Suite 3000, Denver, CO 80202-3622  
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Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

August 5, 2020

**BY CERTIFIED MAIL**

FHRB LLC  
Attn: Scott Barone  
511 Canal Street  
Suite 500  
New York, NY 10013

**Re: Access to 144 West Street, Brooklyn, NY 11222 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Mr. Barone:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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New York state law also prohibits landlords from demanding or accepting any payment from any cable television company in exchange for permitting cable television service or facilities on the landlord's property. 16 NYCRR 898.1; see also N.Y. Pub. Serv. L. § 228(1)(b) (landlord may not "demand or accept payment from any tenant, in any form, in exchange for permitting cable television service on or within his property or premises, or from any cable television company in exchange therefor . . ."). Rather, a landlord has a right to seek just compensation for

such use through the New York State Public Service Commission, which has held in the past that the compensation is presumed to be de minimus.

The validity of these laws is beyond dispute—they have been upheld by both the New York Court of Appeals (the highest court in the State) and the United State Supreme Court. See *Loretto v. Teleprompter Manhattan CATV Corp.*, 458 U.S. 419 (1982), *on remand*, 58 N.Y. 2d 143 (1983).

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Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

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# SHERMAN & HOWARD L.L.C.

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Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

November 3, 2020

## **SECOND REQUEST**

### **BY CERTIFIED MAIL**

FHRB LLC  
Attn: Scott Barone  
511 Canal Street  
Suite 500  
New York, NY 10013

**Re: Access to 144 West Street, Brooklyn, NY 11222 (the "Property")**  
**Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Mr. Barone:

This firm represents Charter Communications ("Charter"). This second letter is in response to your continued refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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New York state law also prohibits landlords from demanding or accepting any payment from any cable television company in exchange for permitting cable television service or facilities



on the landlord's property. 16 NYCRR 898.1; see *also* N.Y. Pub. Serv. L. § 228(1)(b) (landlord may not "demand or accept payment from any tenant, in any form, in exchange for permitting cable television service on or within his property or premises, or from any cable television company in exchange therefor . . ."). Rather, a landlord has a right to seek just compensation for such use through the New York State Public Service Commission, which has held in the past that the compensation is presumed to be *de minimus*.

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Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

301 E 62nd Street

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# SHERMAN & HOWARD L.L.C.

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633 Seventeenth Street, Suite 3000, Denver, CO 80202-3622  
Telephone: 303.297.2900 Fax: 303.298.0940 www.shermanhoward.com

**Cody M. Barela**  
**Sherman & Howard L.L.C.**  
**Direct Dial Number: 303.299.8320**  
**E-mail: cbarela@shermanhoward.com**

August 5, 2020

**BY CERTIFIED MAIL**

30162 Owners Corp  
Attn: Irina Besser  
250 Park Avenue S, #4  
New York, NY 10003

**Re: Access to 301 E. 62<sup>nd</sup> Street, New York, NY 10065 (the "Property")**  
**Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Ms. Besser:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

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# SHERMAN & HOWARD L.L.C.

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Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

## **SECOND REQUEST**

November 3, 2020

### **BY CERTIFIED MAIL**

30162 Owners Corp  
Attn: Irina Besser  
250 Park Avenue S, #4  
New York, NY 10003

**Re: Access to 301 E. 62<sup>nd</sup> Street, New York, NY 10065 (the "Property")  
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November 3, 2020

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Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

81-11 134th Street

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# SHERMAN & HOWARD L.L.C.

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Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

August 5, 2020

**BY CERTIFIED MAIL**

Briarwood MP LLC  
Attn: Olivia Musso  
388 Old Courthouse Road  
New Hyde Park, NY 11040

**Re: Access to 81-11 134<sup>th</sup> Street, Jamaica, NY 11435 (the "Property")**  
**Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Ms. Musso:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

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# SHERMAN & HOWARD L.L.C.

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Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

November 3, 2020

## **SECOND REQUEST**

### **BY CERTIFIED MAIL**

Briarwood MP LLC  
Attn: Olivia Musso  
388 Old Courthouse Road  
New Hyde Park, NY 11040

**Re: Access to 81-11 134<sup>th</sup> Street, Jamaica, NY 11435 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

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This firm represents Charter Communications ("Charter"). This second letter is in response to your continued refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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In addition, Title 16 of the New York Code, Rules and Regulations ("NYCRR") 898, titled "Right of Entry," provides that Charter "shall have a right to enter the property of the landlord" for the purpose of "making surveys or other investigations preparatory to the installation." Pursuant to that Section, Charter may enter the property of a landlord to complete the installation upon providing notice to the landlord according to the terms of 16 NYCRR 898. That section further provides that should a landlord refuse to grant Charter entry, Charter may file with the New York State Public Service Commission a Petition for an order allowing such entry.

New York state law also prohibits landlords from demanding or accepting any payment from any cable television company in exchange for permitting cable television service or facilities on the landlord's property. 16 NYCRR 898.1; see also N.Y. Pub. Serv. L. § 228(1)(b) (landlord

November 3, 2020

Page 2

may not “demand or accept payment from any tenant, in any form, in exchange for permitting cable television service on or within his property or premises, or from any cable television company in exchange therefor . . .”). Rather, a landlord has a right to seek just compensation for such use through the New York State Public Service Commission, which has held in the past that the compensation is presumed to be de minimus.

The validity of these laws is beyond dispute—they have been upheld by both the New York Court of Appeals (the highest court in the State) and the United State Supreme Court. See *Loretto v. Teleprompter Manhattan CATV Corp.*, 458 U.S. 419 (1982), *on remand*, 58 N.Y. 2d 143 (1983).

Charter’s proposed installation will protect the safety, functioning, and appearance of the Properties. Charter will bear the cost of the installation. Charter will also indemnify you for any damage that may be caused by the installation. Charter will dispatch an installation team on or after two weeks from the date of this Letter, to commence the necessary work in order to make Charter’s services available to all current and/or future residents of the Property.

If we do not hear from you within 7 days, or our installation team is prevented from commencement of the necessary work to install our infrastructure, we may be forced to file a Petition for Order of Entry with the New York State Public Service Commission, after which you will be afforded, pursuant to 16 NYCRR 898.4(b)(9), twenty days to answer the Petition.

If you have any questions or need more information, please reach out directly to Offer Adinyayev at 347-831-6844 or [offer.adinyayev@charter.com](mailto:offer.adinyayev@charter.com). We look forward to hearing from you and appreciate your immediate attention to this matter.

Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

378 West End Avenue

---

# SHERMAN & HOWARD L.L.C.

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633 Seventeenth Street, Suite 3000, Denver, CO 80202-3622  
Telephone: 303.297.2900 Fax: 303.298.0940 www.shermanhoward.com

**Cody M. Barela**  
**Sherman & Howard L.L.C.**  
**Direct Dial Number: 303.299.8320**  
**E-mail: cbarela@shermanhoward.com**

August 5, 2020

**BY CERTIFIED MAIL**

378 WEA Owner LLC  
Attn: Blake Goodman  
800 3<sup>rd</sup> Avenue  
22<sup>nd</sup> Floor  
New York, NY 10022

**Re: Access to 378 West End Avenue New York, NY 10024 (the "Property")**  
**Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Mr. Goodman:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

Pursuant to Public Service Law § 224, cable television service providers are obligated to offer and provide services in accordance with applicable law, regulations, and franchise requirements. Moreover, pursuant to Public Service Law § 228, landlords are prohibited from interfering with the installation of cable television facilities upon their properties.

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New York state law also prohibits landlords from demanding or accepting any payment from any cable television company in exchange for permitting cable television service or facilities on the landlord's property. 16 NYCRR 898.1; see *also* N.Y. Pub. Serv. L. § 228(1)(b) (landlord may not "demand or accept payment from any tenant, in any form, in exchange for permitting cable television service on or within his property or premises, or from any cable television company in exchange therefor . . ."). Rather, a landlord has a right to seek just compensation for

such use through the New York State Public Service Commission, which has held in the past that the compensation is presumed to be de minimus.

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If we do not hear from you within 14 days, or our installation team is prevented from commencement of the necessary work to install our infrastructure, we may be forced to file a Petition for Order of Entry with the New York State Public Service Commission, after which you will be afforded, pursuant to 16 NYCRR 898.4(b)(9), twenty days to answer the Petition.

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Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

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# SHERMAN & HOWARD L.L.C.

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Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

November 3, 2020

## **SECOND REQUEST**

### **BY CERTIFIED MAIL**

378 WEA Owner LLC  
Attn: Blake Goodman  
800 3<sup>rd</sup> Avenue  
22<sup>nd</sup> Floor  
New York, NY 10022

**Re: Access to 378 West End Avenue New York, NY 10024 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Mr. Goodman:

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Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela



435 Central Park West

---

# SHERMAN & HOWARD L.L.C.

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633 Seventeenth Street, Suite 3000, Denver, CO 80202-3622  
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**Cody M. Barela**  
**Sherman & Howard L.L.C.**  
**Direct Dial Number: 303.299.8320**  
**E-mail: cbarela@shermanhoward.com**

August 7, 2020

**BY CERTIFIED MAIL**

Park Front Apartments LLC  
Attn: Arthur Berenbaum  
315 Central Park West # 1200  
New York, NY 10025

**Re: Access to 435 Central Park West, New York, NY 10025 (the "Property")**  
**Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Mr. Berenbaum:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

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# SHERMAN & HOWARD L.L.C.

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Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

November 3, 2020

## **SECOND REQUEST**

### **BY CERTIFIED MAIL**

Park Front Apartments LLC  
Attn: Arthur Berenbaum  
315 Central Park West # 1200  
New York, NY 10025

**Re: Access to 435 Central Park West, New York, NY 10025 (the "Property")  
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Dear Mr. Berenbaum:

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November 3, 2020

Page 2

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Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

302 E 96th Street

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# SHERMAN & HOWARD L.L.C.

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633 Seventeenth Street, Suite 3000, Denver, CO 80202-3622  
Telephone: 303.297.2900 Fax: 303.298.0940 www.shermanhoward.com

Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

September 22, 2020

**BY CERTIFIED MAIL**

WWML96 LLC  
Attn: Eric Brody  
894 Sixth Avenue  
New York, NY 10001

**Re: Access to 302 E. 96<sup>th</sup> St., New York, NY 10128 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Mr. Brody:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela



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# SHERMAN & HOWARD L.L.C.

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Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

November 3, 2020

## **SECOND REQUEST**

### **BY CERTIFIED MAIL**

WWML96 LLC  
Attn: Eric Brody  
894 Sixth Avenue  
New York, NY 10001

**Re: Access to 302 E. 96<sup>th</sup> St., New York, NY 10128 (the "Property")**  
**Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Mr. Brody:

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November 3, 2020

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Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

29-19 Newtown Avenue

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# SHERMAN & HOWARD L.L.C.

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**Cody M. Barela**  
**Sherman & Howard L.L.C.**  
**Direct Dial Number: 303.299.8320**  
**E-mail: cbarela@shermanhoward.com**

September 22, 2020

**BY CERTIFIED MAIL**

Almo Group Corp.  
Attn: Lambrous Houliaras  
23-39 BQE West  
Astoria, NY 11103

**Re: Access to 29-19 Newtown Avenue, Astoria, NY 11102 (the "Property")**  
**Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Lambrous Houliaras:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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/s/ *Cody M. Barela*

Cody M. Barela

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633 Seventeenth Street, Suite 3000, Denver, CO 80202-3622  
Telephone: 303.297.2900 Fax: 303.298.0940 www.shermanhoward.com

Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

November 3, 2020

## **SECOND REQUEST**

### **BY CERTIFIED MAIL**

Almo Group Corp.  
Attn: Lambrous Houliaras  
23-39 BQE West  
Astoria, NY 11103

**Re: Access to 29-19 Newtown Avenue, Astoria, NY 11102 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Lambrous Houliaras:

This firm represents Charter Communications ("Charter"). This second letter is in response to your continued refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

Pursuant to Public Service Law § 224, cable television service providers are obligated to offer and provide services in accordance with applicable law, regulations, and franchise requirements. Moreover, pursuant to Public Service Law § 228, landlords are prohibited from interfering with the installation of cable television facilities upon their properties.

In addition, Title 16 of the New York Code, Rules and Regulations ("NYCRR") 898, titled "Right of Entry," provides that Charter "shall have a right to enter the property of the landlord" for the purpose of "making surveys or other investigations preparatory to the installation." Pursuant to that Section, Charter may enter the property of a landlord to complete the installation upon providing notice to the landlord according to the terms of 16 NYCRR 898. That section further provides that should a landlord refuse to grant Charter entry, Charter may file with the New York State Public Service Commission a Petition for an order allowing such entry.

New York state law also prohibits landlords from demanding or accepting any payment from any cable television company in exchange for permitting cable television service or facilities on the landlord's property. 16 NYCRR 898.1; see also N.Y. Pub. Serv. L. § 228(1)(b) (landlord

November 3, 2020

Page 2

may not “demand or accept payment from any tenant, in any form, in exchange for permitting cable television service on or within his property or premises, or from any cable television company in exchange therefor . . .”). Rather, a landlord has a right to seek just compensation for such use through the New York State Public Service Commission, which has held in the past that the compensation is presumed to be *de minimus*.

The validity of these laws is beyond dispute—they have been upheld by both the New York Court of Appeals (the highest court in the State) and the United State Supreme Court. See *Loretto v. Teleprompter Manhattan CATV Corp.*, 458 U.S. 419 (1982), *on remand*, 58 N.Y. 2d 143 (1983).

Charter’s proposed installation will protect the safety, functioning, and appearance of the Properties. Charter will bear the cost of the installation. Charter will also indemnify you for any damage that may be caused by the installation. Charter will dispatch an installation team on or after two weeks from the date of this Letter, to commence the necessary work in order to make Charter’s services available to all current and/or future residents of the Property.

If we do not hear from you within 7 days, or our installation team is prevented from commencement of the necessary work to install our infrastructure, we may be forced to file a Petition for Order of Entry with the New York State Public Service Commission, after which you will be afforded, pursuant to 16 NYCRR 898.4(b)(9), twenty days to answer the Petition.

If you have any questions or need more information, please reach out directly to Offer Adinyayev at 347-831-6844 or [offer.adinyayev@charter.com](mailto:offer.adinyayev@charter.com). We look forward to hearing from you and appreciate your immediate attention to this matter.

Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

171-04 Baisley Boulevard



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# SHERMAN & HOWARD

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Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

December 10, 2019

**BY CERTIFIED MAIL**

The DFD Group  
Attn: Beverly Daniels  
169-30 Baisley Blvd.  
Management Office  
Jamaica, NY 11434

**Re: Access to 171-04 Baisley Blvd., Jamaica, NY 11434 (the "Property") Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Ms. Daniels:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

Pursuant to Public Service Law § 224, cable television service providers are obligated to offer and provide services in accordance with applicable law, regulations, and franchise requirements. Moreover, pursuant to Public Service Law § 228, landlords are prohibited from interfering with the installation of cable television facilities upon their properties.

In addition, Title 16 of the New York Code, Rules and Regulations ("NYCRR") 898, titled "Right of Entry," provides that Charter "shall have a right to enter the property of the landlord" for the purpose of "making surveys or other investigations preparatory to the installation." Pursuant to that Section, Charter may enter the property of a landlord to complete the installation upon providing notice to the landlord according to the terms of 16 NYCRR 898. That section further provides that should a landlord refuse to grant Charter entry, Charter may file with the New York State Public Service Commission a Petition for an order allowing such entry.

New York state law also prohibits landlords from demanding or accepting any payment from any cable television company in exchange for permitting cable television service or facilities on the landlord's property. 16 NYCRR 898.1; see also N.Y. Pub. Serv. L. § 228(1)(b) (landlord may not "demand or accept payment from any tenant, in any form, in exchange for permitting cable television service on or within his property or premises, or from any cable television

company in exchange therefor . . ."). Rather, a landlord has a right to seek just compensation for such use through the New York State Public Service Commission, which has held in the past that the compensation is presumed to be de minimus.

The validity of these laws is beyond dispute—they have been upheld by both the New York Court of Appeals (the highest court in the State) and the United State Supreme Court. See *Loretto v. Teleprompter Manhattan CATV Corp.*, 458 U.S. 419 (1982), *on remand*, 58 N.Y. 2d 143 (1983).

Charter's proposed installation will protect the safety, functioning, and appearance of the Properties. Charter will bear the cost of the installation. Charter will also indemnify you for any damage that may be caused by the installation. Charter will dispatch an installation team on or after two weeks from the date of this Letter, to commence the necessary work in order to make Charter's services available to all current and/or future residents of the Property.

If we do not hear from you within 14 days, or our installation team is prevented from commencement of the necessary work to install our infrastructure, we may be forced to file a Petition for Order of Entry with the New York State Public Service Commission, after which you will be afforded, pursuant to 16 NYCRR 898.4(b)(9), twenty days to answer the Petition.

We look forward to hearing from you and appreciate your immediate attention to this matter.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Cody M. Barela', written in a cursive style.

Cody M. Barela

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# SHERMAN & HOWARD L.L.C.

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Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

September 22, 2020

**BY CERTIFIED MAIL**

Palm Triton LLC  
Attn: Katrina Brown  
100 Schoolhouse Road  
Levittown, NY 11756

**Re: Access to 171-04 Baisley Blvd., Jamaica, NY 11434 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Ms. Brown:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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such use through the New York State Public Service Commission, which has held in the past that the compensation is presumed to be de minimus.

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Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

126-30 Locust Manor

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# SHERMAN & HOWARD L.L.C.

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Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

September 22, 2020

**BY CERTIFIED MAIL**

The Eclipse at Locust Manor LLC  
Attn: Katrina Brown  
100 Schoolhouse Road  
Levittown, NY 11756

**Re: Access to 126-30 Locust Manor, Jamaica, NY 11434 (the "Property")**  
**Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Ms. Brown:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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If you have any questions or need more information, please reach out directly to Debra Netska at (212) 598-3408 or [debra.netska@charter.com](mailto:debra.netska@charter.com). We look forward to hearing from you and appreciate your immediate attention to this matter.

Very truly yours,

/s/ Cody M. Barela

Cody M. Barela

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# SHERMAN & HOWARD L.L.C.

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Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

November 3, 2020

## **SECOND REQUEST**

### **BY CERTIFIED MAIL**

The Eclipse at Locust Manor LLC  
Attn: Katrina Brown  
100 Schoolhouse Road  
Levittown, NY 11756

**Re: Access to 126-30 Locust Manor, Jamaica, NY 11434 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Ms. Brown:

This firm represents Charter Communications ("Charter"). This second letter is in response to your continued refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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November 3, 2020

Page 2

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Very truly yours,

/s/ Cody M. Barela

Cody M. Barela

127-10 Locust Manor

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# SHERMAN & HOWARD L.L.C.

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Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

September 22, 2020

**BY CERTIFIED MAIL**

The Meridian at Locust Manor LLC  
Attn: Katrina Brown  
100 Schoolhouse Road  
Levittown, NY 11756

**Re: Access to 127-10 Locust Manor, Jamaica, NY 11434 (the "Property")**  
**Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Ms. Brown:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

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# SHERMAN & HOWARD L.L.C.

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Direct Dial Number: 303.299.8320  
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November 3, 2020

## **SECOND REQUEST**

### **BY CERTIFIED MAIL**

The Eclipse at Locust Manor LLC  
Attn: Katrina Brown  
100 Schoolhouse Road  
Levittown, NY 11756

**Re: Access to 127-10 Locust Manor, Jamaica, NY 11434 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Ms. Brown:

This firm represents Charter Communications ("Charter"). This second letter is in response to your continued refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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November 3, 2020

Page 2

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Very truly yours,

/s/ Cody M. Barela

Cody M. Barela

126-02 Locust Manor

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# SHERMAN & HOWARD L.L.C.

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Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

September 22, 2020

**BY CERTIFIED MAIL**

Locust Manor Family Residence II, LTD.  
Attn: Katrina Brown  
100 Schoolhouse Road  
Levittown, NY 11756

**Re: Access to 126-02 Locust Manor, Jamaica, NY 11434 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Ms. Brown:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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If we do not hear from you within 14 days, or our installation team is prevented from commencement of the necessary work to install our infrastructure, we may be forced to file a Petition for Order of Entry with the New York State Public Service Commission, after which you will be afforded, pursuant to 16 NYCRR 898.4(b)(9), twenty days to answer the Petition.

If you have any questions or need more information, please reach out directly to Offer Adinyayev at (347) 831-6844 or [offer.adinyayev@charter.com](mailto:offer.adinyayev@charter.com). We look forward to hearing from you and appreciate your immediate attention to this matter.

Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

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# SHERMAN & HOWARD L.L.C.

---

633 Seventeenth Street, Suite 3000, Denver, CO 80202-3622  
Telephone: 303.297.2900 Fax: 303.298.0940 www.shermanhoward.com

Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

November 3, 2020

## **SECOND REQUEST**

### **BY CERTIFIED MAIL**

Locust Manor Family Residence II  
Attn: Katrina Brown  
100 Schoolhouse Road  
Levittown, NY 11756

**Re: Access to 126-02 Locust Manor, Jamaica, NY 11434 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Ms. Brown:

This firm represents Charter Communications ("Charter"). This second letter is in response to your continued refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

Pursuant to Public Service Law § 224, cable television service providers are obligated to offer and provide services in accordance with applicable law, regulations, and franchise requirements. Moreover, pursuant to Public Service Law § 228, landlords are prohibited from interfering with the installation of cable television facilities upon their properties.

In addition, Title 16 of the New York Code, Rules and Regulations ("NYCRR") 898, titled "Right of Entry," provides that Charter "shall have a right to enter the property of the landlord" for the purpose of "making surveys or other investigations preparatory to the installation." Pursuant to that Section, Charter may enter the property of a landlord to complete the installation upon providing notice to the landlord according to the terms of 16 NYCRR 898. That section further provides that should a landlord refuse to grant Charter entry, Charter may file with the New York State Public Service Commission a Petition for an order allowing such entry.

New York state law also prohibits landlords from demanding or accepting any payment from any cable television company in exchange for permitting cable television service or facilities

November 3, 2020

Page 2

on the landlord's property. 16 NYCRR 898.1; see *also* N.Y. Pub. Serv. L. § 228(1)(b) (landlord may not “demand or accept payment from any tenant, in any form, in exchange for permitting cable television service on or within his property or premises, or from any cable television company in exchange therefor . . .”). Rather, a landlord has a right to seek just compensation for such use through the New York State Public Service Commission, which has held in the past that the compensation is presumed to be *de minimus*.

The validity of these laws is beyond dispute—they have been upheld by both the New York Court of Appeals (the highest court in the State) and the United State Supreme Court. See *Loretto v. Teleprompter Manhattan CATV Corp.*, 458 U.S. 419 (1982), *on remand*, 58 N.Y. 2d 143 (1983).

Charter's proposed installation will protect the safety, functioning, and appearance of the Properties. Charter will bear the cost of the installation. Charter will also indemnify you for any damage that may be caused by the installation. Charter will dispatch an installation team on or after two weeks from the date of this Letter, to commence the necessary work in order to make Charter's services available to all current and/or future residents of the Property.

If we do not hear from you within 7 days, or our installation team is prevented from commencement of the necessary work to install our infrastructure, we may be forced to file a Petition for Order of Entry with the New York State Public Service Commission, after which you will be afforded, pursuant to 16 NYCRR 898.4(b)(9), twenty days to answer the Petition.

If you have any questions or need more information, please reach out directly to Offer Adinyayev at 347-831-6844 or [offer.adinyayev@charter.com](mailto:offer.adinyayev@charter.com). We look forward to hearing from you and appreciate your immediate attention to this matter.

Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

241 Atlantic Avenue

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# SHERMAN & HOWARD L.L.C.

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633 Seventeenth Street, Suite 3000, Denver, CO 80202-3622  
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Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

September 22, 2020

**BY CERTIFIED MAIL**

ACHS Management Corp.  
Attn: Josh Posner  
1412 Broadway  
New York, NY 10018

**Re: Access to 241 Atlantic Avenue, Brooklyn, NY 11201 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Mr. Posner:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

Pursuant to Public Service Law § 224, cable television service providers are obligated to offer and provide services in accordance with applicable law, regulations, and franchise requirements. Moreover, pursuant to Public Service Law § 228, landlords are prohibited from interfering with the installation of cable television facilities upon their properties.

In addition, Title 16 of the New York Code, Rules and Regulations ("NYCRR") 898, titled "Right of Entry," provides that Charter "shall have a right to enter the property of the landlord" for the purpose of "making surveys or other investigations preparatory to the installation." Pursuant to that Section, Charter may enter the property of a landlord to complete the installation upon providing notice to the landlord according to the terms of 16 NYCRR 898. That section further provides that should a landlord refuse to grant Charter entry, Charter may file with the New York State Public Service Commission a Petition for an order allowing such entry.

New York state law also prohibits landlords from demanding or accepting any payment from any cable television company in exchange for permitting cable television service or facilities on the landlord's property. 16 NYCRR 898.1; see also N.Y. Pub. Serv. L. § 228(1)(b) (landlord may not "demand or accept payment from any tenant, in any form, in exchange for permitting cable television service on or within his property or premises, or from any cable television company in exchange therefor . . ."). Rather, a landlord has a right to seek just compensation for such use through the New York State Public Service Commission, which has held in the past that the compensation is presumed to be de minimus.

The validity of these laws is beyond dispute—they have been upheld by both the New York Court of Appeals (the highest court in the State) and the United State Supreme Court. See *Loretto v. Teleprompter Manhattan CATV Corp.*, 458 U.S. 419 (1982), *on remand*, 58 N.Y. 2d 143 (1983).

Charter's proposed installation will protect the safety, functioning, and appearance of the Properties. Charter will bear the cost of the installation. Charter will also indemnify you for any damage that may be caused by the installation. Charter will dispatch an installation team on or after two weeks from the date of this Letter, to commence the necessary work in order to make Charter's services available to all current and/or future residents of the Property.

If we do not hear from you within 14 days, or our installation team is prevented from commencement of the necessary work to install our infrastructure, we may be forced to file a Petition for Order of Entry with the New York State Public Service Commission, after which you will be afforded, pursuant to 16 NYCRR 898.4(b)(9), twenty days to answer the Petition.

If you have any questions or need more information, please reach out directly to Debra Netska at (212) 598-3408 or [debra.netska@charter.com](mailto:debra.netska@charter.com). We look forward to hearing from you and appreciate your immediate attention to this matter.

Very truly yours,

/s/ Cody M. Barela

Cody M. Barela

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# SHERMAN & HOWARD L.L.C.

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Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

November 3, 2020

## **SECOND REQUEST**

### **BY CERTIFIED MAIL**

ACHS Management Corp.  
Attn: Josh Posner  
1412 Broadway  
New York, NY 10018

**Re: Access to 241 Atlantic Avenue, Brooklyn, NY 11201 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Mr. Posner:

This firm represents Charter Communications ("Charter"). This second letter is in response to your continued refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

Pursuant to Public Service Law § 224, cable television service providers are obligated to offer and provide services in accordance with applicable law, regulations, and franchise requirements. Moreover, pursuant to Public Service Law § 228, landlords are prohibited from interfering with the installation of cable television facilities upon their properties.

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New York state law also prohibits landlords from demanding or accepting any payment from any cable television company in exchange for permitting cable television service or facilities on the landlord's property. 16 NYCRR 898.1; see also N.Y. Pub. Serv. L. § 228(1)(b) (landlord

November 3, 2020

Page 2

may not “demand or accept payment from any tenant, in any form, in exchange for permitting cable television service on or within his property or premises, or from any cable television company in exchange therefor . . .”). Rather, a landlord has a right to seek just compensation for such use through the New York State Public Service Commission, which has held in the past that the compensation is presumed to be de minimus.

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If you have any questions or need more information, please reach out directly to Debra Netska at (212) 598-3408 or [debra.netska@charter.com](mailto:debra.netska@charter.com). We look forward to hearing from you and appreciate your immediate attention to this matter.

Very truly yours,

/s/ Cody M. Barela

Cody M. Barela



210 Wallabout Street

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# SHERMAN & HOWARD L.L.C.

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633 Seventeenth Street, Suite 3000, Denver, CO 80202-3622  
Telephone: 303.297.2900 Fax: 303.298.0940 www.shermanhoward.com

Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

September 23, 2020

**BY CERTIFIED MAIL**

Mendy Deutsch  
199 Lee Avenue #286  
Brooklyn, NY 11211

**Re: Access to 210 Wallabout St., Brooklyn, NY 11236 (the "Property")**  
**Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Ms. Deutsch:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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September 23, 2020

Page 2

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Very truly yours,

/s/ Cody M. Barela

Cody M. Barela

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# SHERMAN & HOWARD L.L.C.

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Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

November 3, 2020

## **SECOND REQUEST**

### **BY CERTIFIED MAIL**

Mendy Deutsch  
199 Lee Avenue #286  
Brooklyn, NY 11211

**Re: Access to 210 Wallabout St., Brooklyn, NY 11236 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Ms. Deutsch:

This firm represents Charter Communications ("Charter"). This second letter is in response to your continued refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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November 3, 2020

Page 2

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Very truly yours,

/s/ Cody M. Barela

Cody M. Barela

242 W 53rd Street

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# SHERMAN & HOWARD

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633 Seventeenth Street, Suite 3000, Denver, CO 80202-3622  
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**Cody M. Barela**  
**Sherman & Howard L.L.C.**  
**Direct Dial Number: 303.299.8320**  
**E-mail: cbarela@shermanhoward.com**

October 14, 2019

**BY CERTIFIED MAIL**

Algin Management  
Attn: George Panos  
229 W. 60<sup>th</sup> Street  
New York, NY 10023

**Re: Access to 242 West 53<sup>rd</sup> Street 10019 (the "Property")**  
**Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Mr. Panos:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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We look forward to hearing from you and appreciate your immediate attention to this matter.

Very truly yours,

Cody M. Barela



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**Cody M. Barela**  
**Sherman & Howard L.L.C.**  
**Direct Dial Number: 303.299.8320**  
**E-mail: cbarela@shermanhoward.com**

November 5, 2019

**BY CERTIFIED MAIL**

Algin Management  
Attn: George Panos  
Construction Manager  
229 W 60<sup>th</sup> St.  
New York, NY 10023

**Re: Second Request for Access to 242 West 53<sup>rd</sup> Street New York, NY 10019 (the  
“Property”) Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Mr. Panos:

This firm represents Charter Communications (“Charter”). This second letter is in response to your continued refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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may not “demand or accept payment from any tenant, in any form, in exchange for permitting cable television service on or within his property or premises, or from any cable television company in exchange therefor . . .”). Rather, a landlord has a right to seek just compensation for such use through the New York State Public Service Commission, which has held in the past that the compensation is presumed to be de minimus.

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We look forward to hearing from you and appreciate your immediate attention to this matter.

Very truly yours,

Cody M. Barela

CMB/cml

125 Court Street

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# SHERMAN & HOWARD L.L.C.

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Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

September 23, 2020

**BY CERTIFIED MAIL**

125 Court Street LLC  
Attn: Amish Patel  
45 Main Street, 12<sup>th</sup> Floor  
Brooklyn, NY 11201

**Re: Access to 125 Court Street, Brooklyn, NY 11201 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Amish Patel:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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such use through the New York State Public Service Commission, which has held in the past that the compensation is presumed to be de minimus.

The validity of these laws is beyond dispute—they have been upheld by both the New York Court of Appeals (the highest court in the State) and the United State Supreme Court. See *Loretto v. Teleprompter Manhattan CATV Corp.*, 458 U.S. 419 (1982), *on remand*, 58 N.Y. 2d 143 (1983).

Charter's proposed installation will protect the safety, functioning, and appearance of the Properties. Charter will bear the cost of the installation. Charter will also indemnify you for any damage that may be caused by the installation. Charter will dispatch an installation team on or after two weeks from the date of this Letter, to commence the necessary work in order to make Charter's services available to all current and/or future residents of the Property.

If we do not hear from you within 14 days, or our installation team is prevented from commencement of the necessary work to install our infrastructure, we may be forced to file a Petition for Order of Entry with the New York State Public Service Commission, after which you will be afforded, pursuant to 16 NYCRR 898.4(b)(9), twenty days to answer the Petition.

If you have any questions or need more information, please reach out directly to Offer Adinyayev at (347) 831-6844 or [offer.adinyayev@charter.com](mailto:offer.adinyayev@charter.com). We look forward to hearing from you and appreciate your immediate attention to this matter.

Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

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# SHERMAN & HOWARD L.L.C.

---

633 Seventeenth Street, Suite 3000, Denver, CO 80202-3622  
Telephone: 303.297.2900 Fax: 303.298.0940 www.shermanhoward.com

Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

November 3, 2020

## **SECOND REQUEST**

### **BY CERTIFIED MAIL**

125 Court Street LLC  
Attn: Amish Patel  
45 Main Street, 12<sup>th</sup> Floor  
Brooklyn, NY 11201

**Re: Access to 125 Court Street, Brooklyn, NY 11201 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Amish Patel:

This firm represents Charter Communications ("Charter"). This second letter is in response to your continued refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

Pursuant to Public Service Law § 224, cable television service providers are obligated to offer and provide services in accordance with applicable law, regulations, and franchise requirements. Moreover, pursuant to Public Service Law § 228, landlords are prohibited from interfering with the installation of cable television facilities upon their properties.

In addition, Title 16 of the New York Code, Rules and Regulations ("NYCRR") 898, titled "Right of Entry," provides that Charter "shall have a right to enter the property of the landlord" for the purpose of "making surveys or other investigations preparatory to the installation." Pursuant to that Section, Charter may enter the property of a landlord to complete the installation upon providing notice to the landlord according to the terms of 16 NYCRR 898. That section further provides that should a landlord refuse to grant Charter entry, Charter may file with the New York State Public Service Commission a Petition for an order allowing such entry.

New York state law also prohibits landlords from demanding or accepting any payment from any cable television company in exchange for permitting cable television service or facilities

November 3, 2020

Page 2

on the landlord's property. 16 NYCRR 898.1; see *also* N.Y. Pub. Serv. L. § 228(1)(b) (landlord may not "demand or accept payment from any tenant, in any form, in exchange for permitting cable television service on or within his property or premises, or from any cable television company in exchange therefor . . ."). Rather, a landlord has a right to seek just compensation for such use through the New York State Public Service Commission, which has held in the past that the compensation is presumed to be *de minimus*.

The validity of these laws is beyond dispute—they have been upheld by both the New York Court of Appeals (the highest court in the State) and the United State Supreme Court. See *Loretto v. Teleprompter Manhattan CATV Corp.*, 458 U.S. 419 (1982), *on remand*, 58 N.Y. 2d 143 (1983).

Charter's proposed installation will protect the safety, functioning, and appearance of the Properties. Charter will bear the cost of the installation. Charter will also indemnify you for any damage that may be caused by the installation. Charter will dispatch an installation team on or after two weeks from the date of this Letter, to commence the necessary work in order to make Charter's services available to all current and/or future residents of the Property.

If we do not hear from you within 7 days, or our installation team is prevented from commencement of the necessary work to install our infrastructure, we may be forced to file a Petition for Order of Entry with the New York State Public Service Commission, after which you will be afforded, pursuant to 16 NYCRR 898.4(b)(9), twenty days to answer the Petition.

If you have any questions or need more information, please reach out directly to Offer Adinyayev at 347-831-6844 or [offer.adinyayev@charter.com](mailto:offer.adinyayev@charter.com). We look forward to hearing from you and appreciate your immediate attention to this matter.

Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

286 Ashland Place



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# SHERMAN & HOWARD L.L.C.

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633 Seventeenth Street, Suite 3000, Denver, CO 80202-3622  
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Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

September 23, 2020

**BY CERTIFIED MAIL**

Amish Patel  
45 Main Street, 12<sup>th</sup> Floor  
Brooklyn, NY 11201

**Re: Access to 286 Ashland Place, Brooklyn, NY 11217 (the “Property”)  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Amish Patel:

This firm represents Charter Communications (“Charter”). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

Pursuant to Public Service Law § 224, cable television service providers are obligated to offer and provide services in accordance with applicable law, regulations, and franchise requirements. Moreover, pursuant to Public Service Law § 228, landlords are prohibited from interfering with the installation of cable television facilities upon their properties.

In addition, Title 16 of the New York Code, Rules and Regulations (“NYCRR”) 898, titled “Right of Entry,” provides that Charter “shall have a right to enter the property of the landlord” for the purpose of “making surveys or other investigations preparatory to the installation.” Pursuant to that Section, Charter may enter the property of a landlord to complete the installation upon providing notice to the landlord according to the terms of 16 NYCRR 898. That section further provides that should a landlord refuse to grant Charter entry, Charter may file with the New York State Public Service Commission a Petition for an order allowing such entry.

New York state law also prohibits landlords from demanding or accepting any payment from any cable television company in exchange for permitting cable television service or facilities on the landlord’s property. 16 NYCRR 898.1; see also N.Y. Pub. Serv. L. § 228(1)(b) (landlord may not “demand or accept payment from any tenant, in any form, in exchange for permitting cable television service on or within his property or premises, or from any cable television company in exchange therefor . . .”). Rather, a landlord has a right to seek just compensation for

such use through the New York State Public Service Commission, which has held in the past that the compensation is presumed to be de minimus.

The validity of these laws is beyond dispute—they have been upheld by both the New York Court of Appeals (the highest court in the State) and the United State Supreme Court. See *Loretto v. Teleprompter Manhattan CATV Corp.*, 458 U.S. 419 (1982), *on remand*, 58 N.Y. 2d 143 (1983).

Charter's proposed installation will protect the safety, functioning, and appearance of the Properties. Charter will bear the cost of the installation. Charter will also indemnify you for any damage that may be caused by the installation. Charter will dispatch an installation team on or after two weeks from the date of this Letter, to commence the necessary work in order to make Charter's services available to all current and/or future residents of the Property.

If we do not hear from you within 14 days, or our installation team is prevented from commencement of the necessary work to install our infrastructure, we may be forced to file a Petition for Order of Entry with the New York State Public Service Commission, after which you will be afforded, pursuant to 16 NYCRR 898.4(b)(9), twenty days to answer the Petition.

If you have any questions or need more information, please reach out directly to Offer Adinyayev at (347) 831-6844 or [offer.adinyayev@charter.com](mailto:offer.adinyayev@charter.com). We look forward to hearing from you and appreciate your immediate attention to this matter.

Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

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# SHERMAN & HOWARD L.L.C.

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Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

November 3, 2020

## **SECOND REQUEST**

### **BY CERTIFIED MAIL**

Amish Patel  
45 Main Street, 12<sup>th</sup> Floor  
Brooklyn, NY 11201

**Re: Access to 286 Ashland Place, Brooklyn, NY 11207 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Amish Patel:

This firm represents Charter Communications ("Charter"). This second letter is in response to your continued refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

Pursuant to Public Service Law § 224, cable television service providers are obligated to offer and provide services in accordance with applicable law, regulations, and franchise requirements. Moreover, pursuant to Public Service Law § 228, landlords are prohibited from interfering with the installation of cable television facilities upon their properties.

In addition, Title 16 of the New York Code, Rules and Regulations ("NYCRR") 898, titled "Right of Entry," provides that Charter "shall have a right to enter the property of the landlord" for the purpose of "making surveys or other investigations preparatory to the installation." Pursuant to that Section, Charter may enter the property of a landlord to complete the installation upon providing notice to the landlord according to the terms of 16 NYCRR 898. That section further provides that should a landlord refuse to grant Charter entry, Charter may file with the New York State Public Service Commission a Petition for an order allowing such entry.

New York state law also prohibits landlords from demanding or accepting any payment from any cable television company in exchange for permitting cable television service or facilities on the landlord's property. 16 NYCRR 898.1; see *also* N.Y. Pub. Serv. L. § 228(1)(b) (landlord

November 3, 2020

Page 2

may not “demand or accept payment from any tenant, in any form, in exchange for permitting cable television service on or within his property or premises, or from any cable television company in exchange therefor . . .”). Rather, a landlord has a right to seek just compensation for such use through the New York State Public Service Commission, which has held in the past that the compensation is presumed to be de minimus.

The validity of these laws is beyond dispute—they have been upheld by both the New York Court of Appeals (the highest court in the State) and the United State Supreme Court. See *Loretto v. Teleprompter Manhattan CATV Corp.*, 458 U.S. 419 (1982), *on remand*, 58 N.Y. 2d 143 (1983).

Charter’s proposed installation will protect the safety, functioning, and appearance of the Properties. Charter will bear the cost of the installation. Charter will also indemnify you for any damage that may be caused by the installation. Charter will dispatch an installation team on or after two weeks from the date of this Letter, to commence the necessary work in order to make Charter’s services available to all current and/or future residents of the Property.

If we do not hear from you within 7 days, or our installation team is prevented from commencement of the necessary work to install our infrastructure, we may be forced to file a Petition for Order of Entry with the New York State Public Service Commission, after which you will be afforded, pursuant to 16 NYCRR 898.4(b)(9), twenty days to answer the Petition.

If you have any questions or need more information, please reach out directly to Offer Adinyayev at 347-831-6844 or [offer.adinyayev@charter.com](mailto:offer.adinyayev@charter.com). We look forward to hearing from you and appreciate your immediate attention to this matter.

Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

325 Kent Avenue

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# SHERMAN & HOWARD L.L.C.

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633 Seventeenth Street, Suite 3000, Denver, CO 80202-3622  
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**Cody M. Barela**  
**Sherman & Howard L.L.C.**  
**Direct Dial Number: 303.299.8320**  
**E-mail: cbarela@shermanhoward.com**

September 23, 2020

**BY CERTIFIED MAIL**

325 Kent LLC  
Attn: Amish Patel  
45 Main Street, 12<sup>th</sup> Floor  
Brooklyn, NY 11201

**Re: Access to 325 Kent Avenue, Brooklyn, NY 11249 (the "Property")**  
**Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Amish Patel:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

Pursuant to Public Service Law § 224, cable television service providers are obligated to offer and provide services in accordance with applicable law, regulations, and franchise requirements. Moreover, pursuant to Public Service Law § 228, landlords are prohibited from interfering with the installation of cable television facilities upon their properties.

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New York state law also prohibits landlords from demanding or accepting any payment from any cable television company in exchange for permitting cable television service or facilities on the landlord's property. 16 NYCRR 898.1; see *also* N.Y. Pub. Serv. L. § 228(1)(b) (landlord may not "demand or accept payment from any tenant, in any form, in exchange for permitting cable television service on or within his property or premises, or from any cable television company in exchange therefor . . ."). Rather, a landlord has a right to seek just compensation for

such use through the New York State Public Service Commission, which has held in the past that the compensation is presumed to be de minimus.

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Charter's proposed installation will protect the safety, functioning, and appearance of the Properties. Charter will bear the cost of the installation. Charter will also indemnify you for any damage that may be caused by the installation. Charter will dispatch an installation team on or after two weeks from the date of this Letter, to commence the necessary work in order to make Charter's services available to all current and/or future residents of the Property.

If we do not hear from you within 14 days, or our installation team is prevented from commencement of the necessary work to install our infrastructure, we may be forced to file a Petition for Order of Entry with the New York State Public Service Commission, after which you will be afforded, pursuant to 16 NYCRR 898.4(b)(9), twenty days to answer the Petition.

If you have any questions or need more information, please reach out directly to Offer Adinyayev at (347) 831-6844 or [offer.adinyayev@charter.com](mailto:offer.adinyayev@charter.com). We look forward to hearing from you and appreciate your immediate attention to this matter.

Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

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# SHERMAN & HOWARD L.L.C.

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Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

November 3, 2020

## **SECOND REQUEST**

### **BY CERTIFIED MAIL**

Amish Patel  
45 Main Street, 12<sup>th</sup> Floor  
Brooklyn, NY 11201

**Re: Access to 325 Kent Avenue, Brooklyn, NY 11249 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Amish Patel:

This firm represents Charter Communications ("Charter"). This second letter is in response to your continued refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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New York state law also prohibits landlords from demanding or accepting any payment from any cable television company in exchange for permitting cable television service or facilities on the landlord's property. 16 NYCRR 898.1; see *also* N.Y. Pub. Serv. L. § 228(1)(b) (landlord



November 3, 2020

Page 2

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If you have any questions or need more information, please reach out directly to Offer Adinyayev at 347-831-6844 or [offer.adinyayev@charter.com](mailto:offer.adinyayev@charter.com). We look forward to hearing from you and appreciate your immediate attention to this matter.

Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

266 Kent Avenue

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# SHERMAN & HOWARD L.L.C.

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**Cody M. Barela**  
**Sherman & Howard L.L.C.**  
**Direct Dial Number: 303.299.8320**  
**E-mail: cbarela@shermanhoward.com**

September 23, 2020

**BY CERTIFIED MAIL**

260 Kent LLC  
Attn: Amish Patel  
45 Main Street, 12<sup>th</sup> Floor  
Brooklyn, NY 11201

**Re: Access to 266 Kent Avenue, Brooklyn, NY 11249 (the "Property")**  
**Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Amish Patel:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

Pursuant to Public Service Law § 224, cable television service providers are obligated to offer and provide services in accordance with applicable law, regulations, and franchise requirements. Moreover, pursuant to Public Service Law § 228, landlords are prohibited from interfering with the installation of cable television facilities upon their properties.

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New York state law also prohibits landlords from demanding or accepting any payment from any cable television company in exchange for permitting cable television service or facilities on the landlord's property. 16 NYCRR 898.1; see *also* N.Y. Pub. Serv. L. § 228(1)(b) (landlord may not "demand or accept payment from any tenant, in any form, in exchange for permitting cable television service on or within his property or premises, or from any cable television company in exchange therefor . . ."). Rather, a landlord has a right to seek just compensation for

September 23, 2020

Page 2

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Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

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# SHERMAN & HOWARD L.L.C.

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E-mail: cbarela@shermanhoward.com

November 3, 2020

## **SECOND REQUEST**

### **BY CERTIFIED MAIL**

Amish Patel  
45 Main Street, 12<sup>th</sup> Floor  
Brooklyn, NY 11201

**Re: Access to 266 Kent Avenue, Brooklyn, NY 11249 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Amish Patel:

This firm represents Charter Communications ("Charter"). This second letter is in response to your continued refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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November 3, 2020

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Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

1059 3rd Avenue

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# SHERMAN & HOWARD L.L.C.

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633 Seventeenth Street, Suite 3000, Denver, CO 80202-3622  
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Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

September 23, 2020

**BY CERTIFIED MAIL**

63<sup>rd</sup> and 3<sup>rd</sup> NYC LLC  
Attn: Chance Gordy  
101 S. Eola Drive  
Orlando, FL 32801

**Re: Access to 1059 3<sup>rd</sup> Avenue, New York, NY 10065 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Mr. Gordy:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

Pursuant to Public Service Law § 224, cable television service providers are obligated to offer and provide services in accordance with applicable law, regulations, and franchise requirements. Moreover, pursuant to Public Service Law § 228, landlords are prohibited from interfering with the installation of cable television facilities upon their properties.

In addition, Title 16 of the New York Code, Rules and Regulations ("NYCRR") 898, titled "Right of Entry," provides that Charter "shall have a right to enter the property of the landlord" for the purpose of "making surveys or other investigations preparatory to the installation." Pursuant to that Section, Charter may enter the property of a landlord to complete the installation upon providing notice to the landlord according to the terms of 16 NYCRR 898. That section further provides that should a landlord refuse to grant Charter entry, Charter may file with the New York State Public Service Commission a Petition for an order allowing such entry.

New York state law also prohibits landlords from demanding or accepting any payment from any cable television company in exchange for permitting cable television service or facilities on the landlord's property. 16 NYCRR 898.1; see *also* N.Y. Pub. Serv. L. § 228(1)(b) (landlord may not "demand or accept payment from any tenant, in any form, in exchange for permitting cable television service on or within his property or premises, or from any cable television company in exchange therefor . . ."). Rather, a landlord has a right to seek just compensation for



such use through the New York State Public Service Commission, which has held in the past that the compensation is presumed to be de minimus.

The validity of these laws is beyond dispute—they have been upheld by both the New York Court of Appeals (the highest court in the State) and the United State Supreme Court. See *Loretto v. Teleprompter Manhattan CATV Corp.*, 458 U.S. 419 (1982), *on remand*, 58 N.Y. 2d 143 (1983).

Charter's proposed installation will protect the safety, functioning, and appearance of the Properties. Charter will bear the cost of the installation. Charter will also indemnify you for any damage that may be caused by the installation. Charter will dispatch an installation team on or after two weeks from the date of this Letter, to commence the necessary work in order to make Charter's services available to all current and/or future residents of the Property.

If we do not hear from you within 14 days, or our installation team is prevented from commencement of the necessary work to install our infrastructure, we may be forced to file a Petition for Order of Entry with the New York State Public Service Commission, after which you will be afforded, pursuant to 16 NYCRR 898.4(b)(9), twenty days to answer the Petition.

If you have any questions or need more information, please reach out directly to Offer Adinyayev at (347) 831-6844 or [offer.adinyayev@charter.com](mailto:offer.adinyayev@charter.com). We look forward to hearing from you and appreciate your immediate attention to this matter.

Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

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# SHERMAN & HOWARD L.L.C.

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633 Seventeenth Street, Suite 3000, Denver, CO 80202-3622  
Telephone: 303.297.2900 Fax: 303.298.0940 www.shermanhoward.com

Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

November 3, 2020

## **SECOND REQUEST**

### **BY CERTIFIED MAIL**

63<sup>rd</sup> and 3<sup>rd</sup> NYC LLC  
Attn: Chance Gordy  
101 S. Eola Drive  
Orlando, FL 32801

**Re: Access to 1059 3<sup>rd</sup> Avenue, New York, NY 10065 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Mr. Gordy:

This firm represents Charter Communications ("Charter"). This second letter is in response to your continued refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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In addition, Title 16 of the New York Code, Rules and Regulations ("NYCRR") 898, titled "Right of Entry," provides that Charter "shall have a right to enter the property of the landlord" for the purpose of "making surveys or other investigations preparatory to the installation." Pursuant to that Section, Charter may enter the property of a landlord to complete the installation upon providing notice to the landlord according to the terms of 16 NYCRR 898. That section further provides that should a landlord refuse to grant Charter entry, Charter may file with the New York State Public Service Commission a Petition for an order allowing such entry.

New York state law also prohibits landlords from demanding or accepting any payment from any cable television company in exchange for permitting cable television service or facilities

November 3, 2020

Page 2

on the landlord's property. 16 NYCRR 898.1; see *also* N.Y. Pub. Serv. L. § 228(1)(b) (landlord may not "demand or accept payment from any tenant, in any form, in exchange for permitting cable television service on or within his property or premises, or from any cable television company in exchange therefor . . ."). Rather, a landlord has a right to seek just compensation for such use through the New York State Public Service Commission, which has held in the past that the compensation is presumed to be *de minimus*.

The validity of these laws is beyond dispute—they have been upheld by both the New York Court of Appeals (the highest court in the State) and the United State Supreme Court. See *Loretto v. Teleprompter Manhattan CATV Corp.*, 458 U.S. 419 (1982), *on remand*, 58 N.Y. 2d 143 (1983).

Charter's proposed installation will protect the safety, functioning, and appearance of the Properties. Charter will bear the cost of the installation. Charter will also indemnify you for any damage that may be caused by the installation. Charter will dispatch an installation team on or after two weeks from the date of this Letter, to commence the necessary work in order to make Charter's services available to all current and/or future residents of the Property.

If we do not hear from you within 7 days, or our installation team is prevented from commencement of the necessary work to install our infrastructure, we may be forced to file a Petition for Order of Entry with the New York State Public Service Commission, after which you will be afforded, pursuant to 16 NYCRR 898.4(b)(9), twenty days to answer the Petition.

If you have any questions or need more information, please reach out directly to Offer Adinyayev at 347-831-6844 or [offer.adinyayev@charter.com](mailto:offer.adinyayev@charter.com). We look forward to hearing from you and appreciate your immediate attention to this matter.

Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

9 Deklab Avenue

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# SHERMAN & HOWARD L.L.C.

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Telephone: 303.297.2900 Fax: 303.298.0940 www.shermanhoward.com

**Cody M. Barela**  
**Sherman & Howard L.L.C.**  
**Direct Dial Number: 303.299.8320**  
**E-mail: cbarela@shermanhoward.com**

September 23, 2020

**BY CERTIFIED MAIL**

9 Dekalb Owner LLC  
Attn: Michael Stern  
104 5<sup>th</sup> Avenue  
New York, NY 10011

**Re: Access to 9 Dekalb Ave., Brooklyn, NY 11201 (the "Property")**  
**Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Mr. Stern:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela

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# SHERMAN & HOWARD L.L.C.

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Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

November 3, 2020

## **SECOND REQUEST**

### **BY CERTIFIED MAIL**

9 Dekalb Owner LLC  
Attn: Michael Stern  
104 5<sup>th</sup> Avenue  
New York, NY 10011

**Re: Access to 9 Dekalb Ave., Brooklyn, NY 11201 (the "Property")**  
**Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Mr. Stern:

This firm represents Charter Communications ("Charter"). This second letter is in response to your continued refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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Very truly yours,

*/s/ Cody M. Barela*

Cody M. Barela



34 S 9th Street

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# SHERMAN & HOWARD L.L.C.

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633 Seventeenth Street, Suite 3000, Denver, CO 80202-3622  
Telephone: 303.297.2900 Fax: 303.298.0940 www.shermanhoward.com

Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

October 10, 2020

**BY CERTIFIED MAIL**

The 34 South 9<sup>th</sup> Street Condominiums  
Attn: Stone Edge Management  
P.O. Box 110981  
Brooklyn, NY 11211

**Re: Access to 34 South 9<sup>th</sup> Street, Brooklyn, NY 11249 (the "Property")**  
**Notice of Intention to Install/Upgrade Cable Television Facilities**

To Whom It May Concern:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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If you have any questions or need more information, please reach out directly to Debra Netska at (212) 598-3408 or [debra.netska@charter.com](mailto:debra.netska@charter.com). We look forward to hearing from you and appreciate your immediate attention to this matter.

Very truly yours,

/s/ Cody M. Barela

Cody M. Barela

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# SHERMAN & HOWARD L.L.C.

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Cody M. Barela  
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Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

November 3, 2020

## **SECOND REQUEST**

### **BY CERTIFIED MAIL**

The 34 South 9<sup>th</sup> Street Condominiums  
Attn: Stone Edge Management  
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Brooklyn, NY 11211

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November 3, 2020

Page 2

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Very truly yours,

/s/ Cody M. Barela

Cody M. Barela

153-52 76th Road

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# SHERMAN & HOWARD L.L.C.

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Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

October 10, 2020

**BY CERTIFIED MAIL**

76-28 Parsons Blvd. Realty Corp.  
Attn: Hui Chen  
58-32 218 Street  
Queens, NY 11364

**Re: Access to 153-52 76<sup>th</sup> Road, Queens, NY 11367 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Hui Chen:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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October 10, 2020

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Very truly yours,

/s/ *Cody M. Barela*

Cody M. Barela



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Direct Dial Number: 303.299.8320  
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November 3, 2020

## **SECOND REQUEST**

### **BY CERTIFIED MAIL**

76-28 Parsons Blvd. Realty Corp.  
Attn: Hui Chen  
58-32 218 Street  
Queens, NY 11364

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November 3, 2020

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Cody M. Barela

31-50 14th Street  
a/k/a 1215 Broadway

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# SHERMAN & HOWARD L.L.C.

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633 Seventeenth Street, Suite 3000, Denver, CO 80202-3622  
Telephone: 303.297.2900 Fax: 303.298.0940 www.shermanhoward.com

Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

October 10, 2020

**BY CERTIFIED MAIL**

1215 Broadway LLC  
Attn: Genadiy Portnoy  
1215 Broadway  
Astoria, NY 11106

**Re: Access to 31-50 14<sup>th</sup> St. aka 1215 Broadway, Astoria, NY 11106 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Genadiy Portnoy:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

Pursuant to Public Service Law § 224, cable television service providers are obligated to offer and provide services in accordance with applicable law, regulations, and franchise requirements. Moreover, pursuant to Public Service Law § 228, landlords are prohibited from interfering with the installation of cable television facilities upon their properties.

In addition, Title 16 of the New York Code, Rules and Regulations ("NYCRR") 898, titled "Right of Entry," provides that Charter "shall have a right to enter the property of the landlord" for the purpose of "making surveys or other investigations preparatory to the installation." Pursuant to that Section, Charter may enter the property of a landlord to complete the installation upon providing notice to the landlord according to the terms of 16 NYCRR 898. That section further provides that should a landlord refuse to grant Charter entry, Charter may file with the New York State Public Service Commission a Petition for an order allowing such entry.

New York state law also prohibits landlords from demanding or accepting any payment from any cable television company in exchange for permitting cable television service or facilities on the landlord's property. 16 NYCRR 898.1; see *also* N.Y. Pub. Serv. L. § 228(1)(b) (landlord may not "demand or accept payment from any tenant, in any form, in exchange for permitting cable television service on or within his property or premises, or from any cable television company in exchange therefor . . ."). Rather, a landlord has a right to seek just compensation for

such use through the New York State Public Service Commission, which has held in the past that the compensation is presumed to be de minimus.

October 10, 2020

Page 2

The validity of these laws is beyond dispute—they have been upheld by both the New York Court of Appeals (the highest court in the State) and the United State Supreme Court. See *Loretto v. Teleprompter Manhattan CATV Corp.*, 458 U.S. 419 (1982), *on remand*, 58 N.Y. 2d 143 (1983).

Charter's proposed installation will protect the safety, functioning, and appearance of the Properties. Charter will bear the cost of the installation. Charter will also indemnify you for any damage that may be caused by the installation. Charter will dispatch an installation team on or after two weeks from the date of this Letter, to commence the necessary work in order to make Charter's services available to all current and/or future residents of the Property.

If we do not hear from you within 14 days, or our installation team is prevented from commencement of the necessary work to install our infrastructure, we may be forced to file a Petition for Order of Entry with the New York State Public Service Commission, after which you will be afforded, pursuant to 16 NYCRR 898.4(b)(9), twenty days to answer the Petition.

If you have any questions or need more information, please reach out directly to Debra Netska at (212) 598-3408 or [debra.netska@charter.com](mailto:debra.netska@charter.com). We look forward to hearing from you and appreciate your immediate attention to this matter.

Very truly yours,

/s/ *Cody M. Barela*

Cody M. Barela

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Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

November 3, 2020

## **SECOND REQUEST**

### **BY CERTIFIED MAIL**

1215 Broadway LLC  
Attn: Genadiy Portnoy  
1215 Broadway  
Astoria, NY 11106

**Re: Access to 31-50 14<sup>th</sup> St. aka 1215 Broadway, Astoria, NY 11106 (the "Property")**  
**Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Genadiy Portnoy:

This firm represents Charter Communications ("Charter"). This second letter is in response to your continued refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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New York state law also prohibits landlords from demanding or accepting any payment from any cable television company in exchange for permitting cable television service or facilities on the landlord's property. 16 NYCRR 898.1; see also N.Y. Pub. Serv. L. § 228(1)(b) (landlord

November 3, 2020

Page 2

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If you have any questions or need more information, please reach out directly to Debra Netska at (212) 598-3408 or [debra.netska@charter.com](mailto:debra.netska@charter.com). We look forward to hearing from you and appreciate your immediate attention to this matter.

Very truly yours,

/s/ Cody M. Barela

Cody M. Barela

124-28 Queens Boulevard



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Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

September 22, 2020

**BY CERTIFIED MAIL**

Mao Hua Dong  
1301 W. Elizabeth Avenue  
Linden, NJ 07036

**Re: Access to 124-28 Queens Blvd., Queens, NY 11415 (the "Property")**  
**Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Mao Hua Dong:

This firm represents Charter Communications ("Charter"). This letter is in response to your refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

Pursuant to Public Service Law § 224, cable television service providers are obligated to offer and provide services in accordance with applicable law, regulations, and franchise requirements. Moreover, pursuant to Public Service Law § 228, landlords are prohibited from interfering with the installation of cable television facilities upon their properties.

In addition, Title 16 of the New York Code, Rules and Regulations ("NYCRR") 898, titled "Right of Entry," provides that Charter "shall have a right to enter the property of the landlord" for the purpose of "making surveys or other investigations preparatory to the installation." Pursuant to that Section, Charter may enter the property of a landlord to complete the installation upon providing notice to the landlord according to the terms of 16 NYCRR 898. That section further provides that should a landlord refuse to grant Charter entry, Charter may file with the New York State Public Service Commission a Petition for an order allowing such entry.

New York state law also prohibits landlords from demanding or accepting any payment from any cable television company in exchange for permitting cable television service or facilities on the landlord's property. 16 NYCRR 898.1; see also N.Y. Pub. Serv. L. § 228(1)(b) (landlord may not "demand or accept payment from any tenant, in any form, in exchange for permitting cable television service on or within his property or premises, or from any cable television company in exchange therefor . . ."). Rather, a landlord has a right to seek just compensation for such use through the New York State Public Service Commission, which has held in the past that the compensation is presumed to be de minimus.

The validity of these laws is beyond dispute—they have been upheld by both the New York Court of Appeals (the highest court in the State) and the United State Supreme Court. See *Loretto v. Teleprompter Manhattan CATV Corp.*, 458 U.S. 419 (1982), *on remand*, 58 N.Y. 2d 143 (1983).

Charter's proposed installation will protect the safety, functioning, and appearance of the Properties. Charter will bear the cost of the installation. Charter will also indemnify you for any damage that may be caused by the installation. Charter will dispatch an installation team on or after two weeks from the date of this Letter, to commence the necessary work in order to make Charter's services available to all current and/or future residents of the Property.

If we do not hear from you within 14 days, or our installation team is prevented from commencement of the necessary work to install our infrastructure, we may be forced to file a Petition for Order of Entry with the New York State Public Service Commission, after which you will be afforded, pursuant to 16 NYCRR 898.4(b)(9), twenty days to answer the Petition.

If you have any questions or need more information, please reach out directly to Debra Netska at (212) 598-3408 or [debra.netska@charter.com](mailto:debra.netska@charter.com). We look forward to hearing from you and appreciate your immediate attention to this matter.

Very truly yours,

/s/ Cody M. Barela

Cody M. Barela

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Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

November 3, 2020

## **SECOND REQUEST**

### **BY CERTIFIED MAIL**

Mao Hua Dong  
1301 W. Elizabeth Avenue  
Linden, NJ 07036

**Re: Access to 124-28 Queens Blvd., Queens, NY 11415 (the "Property")  
Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Mao Hua Dong:

This firm represents Charter Communications ("Charter"). This second letter is in response to your continued refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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November 3, 2020

Page 2

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Very truly yours,

/s/ Cody M. Barela

Cody M. Barela

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Cody M. Barela  
Sherman & Howard L.L.C.  
Direct Dial Number: 303.299.8320  
E-mail: cbarela@shermanhoward.com

November 11, 2020

**BY CERTIFIED MAIL**

Luciano LLC  
Attn: Mao Hua Dong  
1301 W. Elizabeth Avenue  
Linden, NJ 07036

**Re: Access to 124-28 Queens Blvd., Queens, NY 11415 (the "Property")**  
**Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Mao Hua Dong:

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Very truly yours,

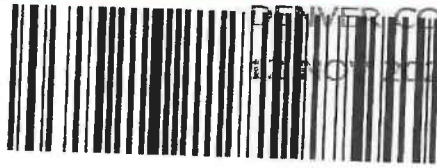
*/s/ Cody M. Barela*

Cody M. Barela

CERTIFIED MAIL

S&H SHERMAN  
& HOWARD

Sherman & Howard L.L.C.  
633 Seventeenth Street, Suite 300  
Denver, Colorado 80202



DENVER CO 802

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*Barda*  
*Scamas*

Luciano LLC  
Attn: Mao Hua Dong  
1301 W. Elizabeth Avenue  
Linden, NJ 07036

DEC 01 2020  
SHERMAN & HOWARD L.L.C.

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# SHERMAN & HOWARD L.L.C.

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November 3, 2020

## **SECOND REQUEST**

### **BY CERTIFIED MAIL**

First Class Management Contr.  
Attn: Fabian Ramirez  
108-08 52<sup>nd</sup> Avenue  
Queens, NY 11368

**Re: Access to 124-28 Queens Blvd., Queens, NY 11415 (the "Property")**  
**Notice of Intention to Install/Upgrade Cable Television Facilities**

Dear Mr. Ramirez:

This firm represents Charter Communications ("Charter"). This second letter is in response to your continued refusal to provide Charter the right to install cable television facilities and services at the Property. Charter has attempted in good faith to negotiate an Installation and Service Agreement directly with you and your firm. Our efforts to secure access to install our facilities has come to an impasse as confirmed per your communications with Charter. As set forth in more detail below, we are authorized by law to access the Property to install and maintain our system.

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November 3, 2020

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/s/ Cody M. Barela

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